


DOULTON 56

PACIFIC

DRAWING LIST

SHEET No.	SHEET NAME	SHEET No.	SHEET NAME
00	COVER SHEET	09	GROUND FLOOR FLOOR COVERINGS
01	GENERAL NOTES	10	FIRST FLOOR FLOOR COVERINGS
02	SITE PLAN	11	INTERNAL ELEVATIONS
02A	SITWORKS	12	INTERNAL ELEVATIONS
03	GROUND FLOOR PLAN	13	INTERNAL ELEVATIONS
04	FIRST FLOOR PLAN	14	INTERNAL ELEVATIONS
05	ROOF PLAN	15	INTERNAL ELEVATIONS
06	ELEVATIONS	16	INTERNAL ELEVATIONS
07	ELEVATIONS	17	INTERNAL ELEVATIONS
08	SECTION	18	INTERNAL ELEVATIONS

13/06/2024 9:55:35 AM

REVISIONS					REVISIONS					DRAWING TITLE:		DESIGN:		PRODUCT CODE:		OWNER:	
REV.	DESCRIPTION	DATE	DRAWN	CHECKED	REV.	DESCRIPTION	DATE	DRAWN	CHECKED	COVER SHEET		DOULTON 56		VD5DOU56PACD1		[REDACTED]	
1	CONTRACT DRAW	10-06-24	1MC	K6H								FACADE: PACIFIC		CEILING: 25G, 24F RH		LOT 5 ILLOWA ROAD DENNINGTON VIC 3280	
												501 Blackburn Road, Mount Waverley, VIC, 3149 P.O. Box 857, Mount Waverley, VIC, 3149		© COPYRIGHT Metricon homes owns copyright Unauthorised use, reproduction or adaption is forbidden and will be prosecuted.		JOB N°: 748045 PERMIT N°: 000000	
												WIND SPEED: TBA		MASTER ISSUED: DD/MM/YYYY		DRAWN: 1MC CHECKED: K6H SHEET: 00/18	
												SPEC: 28/06/2022 V06		PRELIMINARY PLAN DATE: 10/06/24			

NOTE: SHADOWS SHOWN HERE ARE NOT SITE SPECIFIC. THEY ARE ADDED TO HELP UNDERSTAND THE VOLUME AND SHAPE OF HOUSE.

STANDARD NOTES:

AS PER NCC 2022

GENERAL

- REFER TO ALL ASSOCIATED ENGINEERING DRAWINGS FOR DESIGN AND CONSTRUCTION REQUIREMENTS OF STRUCTURAL, SLAB & HYDRAULIC ELEMENTS (where applicable).
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- INTERNAL ELEVATION DIMENSIONS ARE TO PLASTER.
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.

FRAMING

- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH AS1684.2-2021 NATIONAL TIMBER FRAMING CODE & OR ENGINEERS STRUCTURAL COMPUTATIONS.
- PREFABRICATED ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS & LAYOUTS.
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQ. TO BE AS PER ENGINEERS DETAIL
- SPECIFIED EAVE WIDTH, MEASURED FROM FACE OF BRICK (UNO).
- PROVIDE 2No. JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL S-TYP-DOOR-01.
- ENSURE RETURN AIR GRILLE & AC VOIDS ARE CLEAR OF TRUSS &/OR FRAMING CONSTRUCTION.

CEILING/WALL - GENERAL

- PROVIDE PLASTER LINED CEILINGS TO ALL AREAS (UNO).
- SOFFITS 4.5mm FC SHEET (UNO).
- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN' LAP TO ALL JOINS WITH CONTINUOUS SILICON SEAL BETWEEN & 50mm MIN' VERTICAL OVERHANG.)
- PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5
- WATERPROOFING FOR EXTERNAL ABOVE GROUND USE TO COMPLY WITH AS4654.1-2012 & AS4654.2-2012.

STEPS/STAIRS & BALUSTRADES

- ALL STEPS MUST COMPLY WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.2
- BARRIERS & HANDRAILS MUST COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3
- BALUSTRADE IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.3 TO BE INSTALLED WHERE VOIDS, OR INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE FINISHED GROUND/FLOOR LEVEL.
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.4 & AS4586-2013.
- STAIRS ARE INDICATIVE ONLY. REFER TO DETAILS, SPECIFICATIONS & SELECTION DOCUMENTS.

WET AREAS

- WATERPROOFING OF WET AREAS TO COMPLY WITH NCC 2022 H4D2 HOUSING PROVISIONS 10.2
- WALL LINING TO WET AREAS TO BE APPROVED WET AREA BOARD (UNO).
- ALL INWARD SWING HINGED WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH NCC 2022 H4D5 HOUSING PROVISIONS 10.4.2

WINDOWS & DOORS

- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM (UNO).
- SIZES NOMINATED AS A GENERIC CODE (UNO). FIRST 2 NUMBERS REFER TO HEIGHT & SECOND 2 RELATE TO WIDTH.
- EXTERNAL WINDOWS & DOORS TO COMPLY WITH NCC 2022 H6D1 HOUSING PROVISIONS 13.4.4.
- WINDOWS TO COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6.

WINDOWS & DOORS (CONT.)

- ALL GLAZING TO COMPLY WITH AS1288-2021 & AS2047-2014, & WITH AS4055-2021 FOR WIND LOADING (UNO).
- WINDOWS SHALL BE PROTECTED IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & 11.3.8
- WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS (UNO).
- PROVIDE LIGHTWEIGHT CLADDING ABOVE ALL CORNER WINDOWS & CORNER DOORS (UNO).
- SAFETY GLAZING IN HUMAN IMPACT AREAS INCLUDING ADJACENT TO BATHS OR SHOWERS TO BE IN ACCORDANCE WITH NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6

ENERGY EFFICIENCY NOTES

NOTE: DESIGN MODIFICATIONS MAY BE NECESSARY TO ACHIEVE REQUIRED ENERGY RATING, BASED ON SPECIFIC SITING. REFER TO SPECIFICATION & CONTRACT DOCUMENTATION.

- PROVIDE BULK CEILING INSULATION & EXTERNAL WALL INSULATION AS PER STD SPECIFICATIONS (UNO).
- PROVIDE WEATHER STRIPPING TO WINDOWS & ALL EXTERNAL HINGED DOORS.
- PROVIDE DRAFT PREVENTION TO EXHAUST FANS, AS PER RELEVANT BUILDING CODES.
- SEALED GAPS AROUND WINDOWS & EXTERNAL DOORS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 H1D7 HOUSING PROVISIONS 7.5.6 & AS/NZS 2904-1995.
- INSULATION OF SERVICES AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.2
- HEATING AND COOLING DUCTWORK AS PER NCC 2022 HOUSING PROVISIONS H6D2 13.7.4 & SEALING PER AS4254-2021.
- ARTIFICIAL LIGHTING AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.6
- WHERE APPLICABLE, PROVIDE SUB-FLOOR VENTILATION IN ACCORDANCE WITH NCC 2022 H2D5 HOUSING PROVISIONS 6.2.1 TO SUSPENDED TIMBER FLOORS.

MISCELLANEOUS

- PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5.
- PLIABLE BUILDING MEMBRANES TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.1 & AS4200.1-2017 & BE INSTALLED IN ACCORDANCE WITH AS4200.2-2017.
- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, NCC 2022 H2D2 HOUSING PROVISIONS 3.3 & AS/NZS 3500.3-2021.
- PROVIDE MINIMUM 115mm SLOTTED GUTTERS WITH APPROVED OVERFLOW PROVISIONS AS REQUIRED.
- ALL EXHAUST FANS TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.2
- WHERE REQUIRED, BATHROOM AND SANITARY COMPARTMENT EXHAUST FANS TO ACHIEVE A MINIMUM FLOW RATE OF 25 L/s, & 40 L/s FOR A KITCHEN OR LAUNDRY.
- PROVIDE TERMITE MGT. SYSTEM AS PER AS3660.1-2014.
- ALL SMOKE ALARMS TO COMPLY WITH AS3786-2014, CONNECTED TO MAINS POWER, AND INTERCONNECTED WHERE APPLICABLE. INSTALLATION TO BE IN ACCORDANCE WITH NCC 2022 H3D6 HOUSING PROVISIONS 9.5.4
- LOCATIONS OF ELECTRICAL COMPONENTS & VENTS SHOWN ARE INDICATIVE ONLY, AND MUST BE INSTALLED TO REQUIRED DISTANCES FROM WALL & CEILING JUNCTIONS.
- BUILDINGS IN BUSHFIRE PRONE AREAS TO COMPLY WITH AS3959-2018.
- DWELLINGS WITHIN 1km OF A BAY/10km OF A SURF COAST MUST HAVE ALL STEEL & MORTAR IN ACCORDANCE WITH SECTION 5 OF AS3700-2018.
- TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR THE FOOTINGS.

STEEL FRAMING REQUIREMENTS (WHERE APPLICABLE):

- STEEL FRAME & TRUSSES REQUIRING THE ISSUE OF A SIGNED COMPLIANCE CERTIFICATE FOR THE BUILDING DESIGN - FORM 15 UPON COMPLETION AND PRIOR TO FINAL CERTIFICATION
- STEEL FRAMES AND TRUSSES TO COMPLY WITH:
 - AS/NZS 1170.0-2002 STRUCTURAL DESIGN ACTIONS: PART 0: GENERAL PRINCIPLES
 - AS/NZS 1170.1-2002 STRUCTURAL DESIGN ACTIONS: PART 1: PERMANENT, IMPOSED AND OTHER ACTIONS
 - AS/NZS 4600-2018 COLD-FORMED STEEL STRUCTURES
 - AS4055-2021 WIND LOADS FOR HOUSING
 - AS4100-2020 STEEL STRUCTURES CODE
 - AS3623-1993 DOMESTIC METAL FRAMING
 - AS3566.1-2002 SELF DRILLING SCREWS
 - NASH STANDARDS

STEEL FRAMING SUPPLIER TO PROVIDE DESIGN, CONNECTORS AND FIXING HARDWARE FOR ALL STEEL TO STRUCTURAL TIMBER MEMBERS (UNO BY ENGINEER).

COLOUR SCHEDULE

REFER TO COLOUR SCHEDULE DOCUMENT FOR ALL MANUFACTURER DETAILS AND COLOUR FINISHES.

WINDOWS & DOORS

ALUMINUM WINDOW & DOOR FRAMES BY "SOUTHERN STAR ALUMINUM WINDOWS & DOORS". TIMBER WINDOWS AND DOOR FRAMES BY "CANTERBURY TIMBER WINDOWS & DOORS"

ENERGY EFFICIENCY:

NOTE: DESIGN MODIFICATIONS MAY BE NECESSARY TO ACHIEVE REQUIRED ENERGY RATING, DEPENDING ON SITING.

PROVIDED IN THE PLANS:

DOOR SEALS - SEALS TO EXTERNAL HINGED DOORS (INCL. GARAGE INTERNAL ACCESS DOOR).

WINDOWS - SHALL BE WEATHER STRIPPED

DRAFT EXCLUSION - REFLECTIVE SISALATION WEATHER WRAP WITH TAPED HORIZONTAL AND VERTICAL JOINTS. SEALED GAPS AROUND WINDOWS AND EXTERNAL DOORS TO BE INSTALLED IN ACCORDANCE WITH NCC 3.5.4.6 & AS/NZS 2904

CEILING INSULATION - R4.0 WITH R2.5 BATTS TO EXTERNAL PERIMETER EXCLUDES OUTDOOR ROOM, VERANDAH, PORTICO AND GARAGE

WALL INSULATION - R2.0 BATTS TO ALL EXTERNAL WALLS INCL. HOUSE / GARAGE WALLS AND HOUSE / ROOF SPACE WALLS. NO INSULATION TO GARAGE WALLS.

FIRST FLOOR INSULATION - R4.0 BATTS TO FLOOR AREA ABOVE GARAGE PORTICO, VERANDAH AND OUTDOOR ROOM.

DOWNLIGHTS - ALL DOWNLIGHTS TO BE SEALED.

EXHAUST FANS - DRAFT PREVENTION TO EXHAUST FANS, TO RELEVANT BUILDING CODES.

BUSHFIRE REQUIREMENTS - BAL 12.5

WALLS

- 4.5MM THICK (NOM) FIBRE CEMENT SHEET INFILLS ABOVE SIDE AND REAR ELEVATION WINDOWS AND DOORS
- ALL LIGHTWEIGHT CLAD AREAS (WHERE INCLUDED) TO BE MINIMUM 4.5 THICK FIBRE CEMENT BASED PRODUCT.
- STANDARD WEATHERWRAP TO WALLS TO REMAIN.

VENTS & WEEPHOLES

- PROVIDE WEEPA HIGH PERFORMANCE BUSHFIRE WEEPHOLE SCREENED WITH MESH MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM TO ALL VENTS AND WEEPHOLES.
- ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINTED TO PREVENT GAPS GREATER THAN 2MM.

WINDOWS

- PROVIDE A MINIMUM OF 4MM TOUGHENED GLASS TO WINDOWS AND SIDELIGHTS WITHIN 400MM OF A HORIZONTAL SURFACE. NOTE EXTERNAL PANE OF DOUBLE GLAZED WINDOWS TO BE A MINIMUM OF 4MM TOUGHENED. NOTE LAMINATED GLASS DOES NOT COMPLY.
- PROVIDE ALUMINIUM FRAMED SCREENS WITH ALUMINIUM MESH TO ALL OPENABLE WINDOWS (OPENABLE SECTION ONLY). NOTE THIS ITEM INCLUDES ALUMINIUM FRAMED SCREENS TO OPENABLE TIMBER WINDOWS (WHERE APPLICABLE).
- ALL WINDOW AND DOOR HARDWARE TO BE MADE OF METAL. NOTE NO PLASTIC ROLLERS TO WINDOWS OR DOUBLE HUNG WINDOWS.

EXTERNAL DOORS

- PROVIDE A MINIMUM OF 4MM TOUGHENED GLASS TO GLAZED BI-FOLD DOORS AND SLIDING DOORS. NOTE LAMINATED GLASS DOES NOT COMPLY.
- WEATHERSTRIPS TO THE BOTTOM OF EXTERNAL HINGED DOORS (THIS ONLY APPLIES TO DOORS THAT DO NOT HAVE A FULLY SEALED FRAME).

GARAGE DOORS

- PROVIDE EMBER SEALS TO COLORBOND SECTIONAL DOORS AND ROLLER DOORS (WHERE INCLUDED). NOTE TIMBER GARAGE DOORS AND/OR WINDOW PANELS DO NOT COMPLY.
- WHERE SCREENS ARE PROVIDED TO SLIDING DOORS THEY ARE TO HAVE A MAXIMUM APERTURE OF 2MM, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.

ROOFING

- PROVIDE ROOF SARKING TO ENTIRE ROOF AREA INCLUDING THE RIDGE AND EXTEND INTO GUTTERS AND VALLEYS.
- PROVIDE COLORBOND WHIRLY BIRD WITH EMBER GUARDS TO ROOF.
- PROVIDE ANTI-PONDING BOARDS TO PERIMETER OF ROOF AREA. NOTE THIS ITEM APPLIES TO TILED ROOFS ONLY.
- VERANDAH'S SEPARATED FROM THE MAIN ROOF SPACE (WHERE INCLUDED) BY AN EXTERNAL WALL MUST HAVE A METAL ROOF.
- THE ROOF/WALL JUNCTION SHALL BE SEALED, TO PREVENT OPENINGS GREATER THAN 2MM.

ROOF PENETRATIONS

- PROVIDE UPGRADE TO STANDARD CHROMAGEN SOLAR HOT WATER UNIT (GAS OR ELECTRICAL) TO COMPLY WITH BUSHFIRE REQUIREMENTS (BAL 12.5, BAL 19 AND BAL 29) INCLUDING:
 - CONCRETE SLAB TO HOT WATER UNIT
 - UV AND TEMPERATURE RESISTANT SOLAR DEKTITE (SOLADEK) IN LIEU OF STANDARD DEKTITE.
 - SOLAR ARMAFLEX IN LIEU OF STANDARD ARMAFLEX
 - IF A GAS BOOSTER HAS BEEN PROVIDED, REPLACE THE FLEXIBLE CONNECTOR BETWEEN THE TANK AND THE BOOSTER WITH HALF-INCH COPPER LINE.
 - PROTECTIVE HOUSING TO THE PUMP AND CONTROLLER
 - SOLAR COLLECTORS TO BE SEALED AT THE ROOF TO PREVENT GAPS GREATER THAN 2MM.
 - ALL WATER AND GAS CONNECTIONS TO BE METAL.

EAVES, LININGS, FASCIA'S & GABLES

- STANDARD PVC STRIPS TO EAVES TO REMAIN (WHERE INCLUDED).
- GABLES TO BE LINED WITH A MINIMUM 4.5MM THICK (NOM) FIBRE CEMENT SHEET.

GUTTERS & DOWNPIPES

- BOX GUTTERS (WHERE INCLUDED) MUST BE METAL WITH METAL FLASHINGS.

WATER & GAS SUPPLY PIPES

- METAL DRAINAGE VENT PIPES WITH METAL MESH TO OPENINGS.
- COPPER WATER LINE CONNECTION TO HOUSE.
- METAL GAS LINE CONNECTION TO GAS METER.

REFERENCE DETAILS

DETAIL NO.	DETAIL DESCRIPTION
S-TYP-PACI-01	PACIFIC TYPICAL FACADE DETAIL
S-TYP-CLAD-06	EPS CLADDING DETAIL
S-TYP-CLAD-10	CEDAR SCREENCLAD CLADDING
S-TYP-PARA-01	FLAT METAL TRAY ROOF AT MIN 2DEG FALL TO BOX GUTTER

DRAWING TITLE:
GENERAL NOTES

DESIGN:
DOULTON 56
FACADE:
PACIFIC

PRODUCT CODE:
VD5DOU56PACD1
CEILING:
25G, 24F RH

OWNER:
**LOT 5 ILLOWA ROAD
DENNINGTON VIC 3280**

m
metricon
DESIGNER

SPEC: 28/06/2022 V06

501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149

Builders Licence N° CDB-U 52967 ACN: 005 108 752
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JOB N°: 748045 PERMIT N°: 000000
WIND SPEED: TBA MASTER ISSUED: DD/MM/YYYY

DRAWN: 1MC CHECKED: K6H SHEET:

PRELIMINARY PLAN
DATE: 10/06/24 **01/18**

IMPORTANT NOTE:

SITE CUTS ARE SUBJECT TO PERMIT APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PL

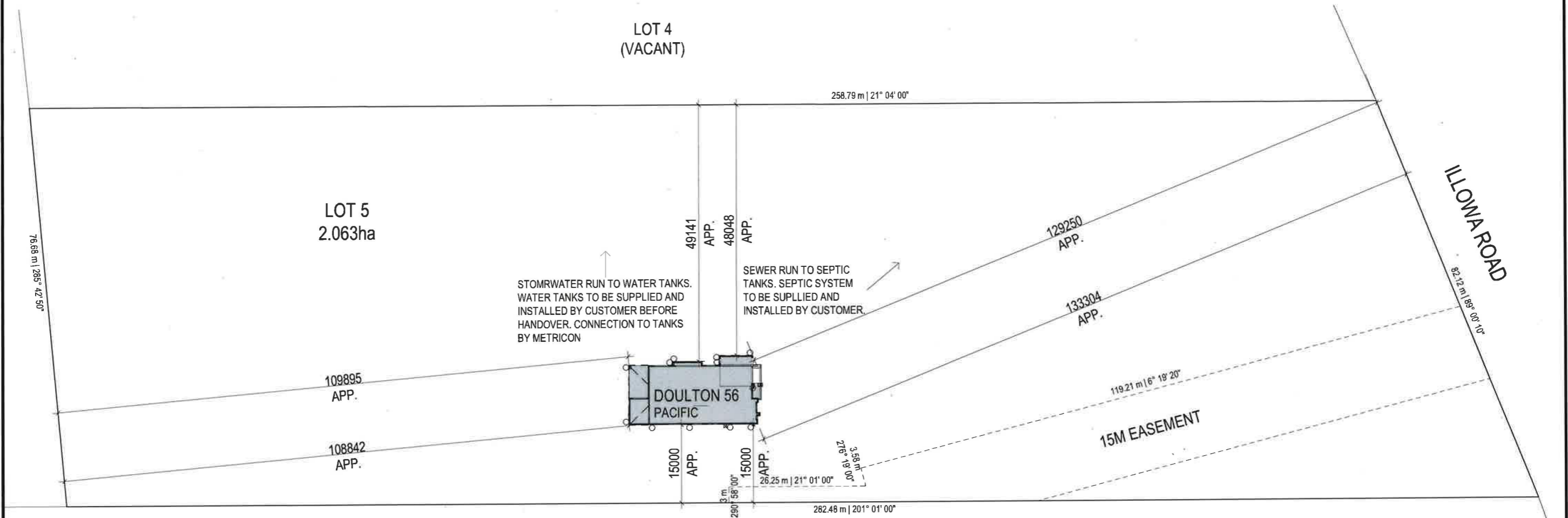
DRAINAGE NOTES:

PROVIDE MIN. 100MM DIA. U.P.V.C. SEALED STORMWATER SYSTEM CONNECTED TO RAIN WATER TANK. OVERFLOW TO FALL TO PIC REQUIREMENTS TO RUBBLE PIT.

REFER TO ENGINEERS DRAINAGE PLAN FOR FULL STORMWATER & DRAINAGE LAYOUT AND DETAILS.

NOTE:

REFER TO SHEET 2A FOR REDUCED SURVEY AREA INCLUDING SITE FALL, EXCAVATIONS, METER BOX, TAPS ETC.



SEPTIC:

SEPTIC TANK SYSTEM TO BE PROVIDED BY OWNER IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

RESCODE NOTES:

SITING WILL BE SUBJECT TO FULL RESCODE GUIDELINES FOR BUILDING APPROVAL & CONSEQUENTLY, SITINGS MAY DIFFER FROM OWNERS ORIGINAL REQUEST IN ORDER TO ACCOMMODATE RESCODE REQUIREMENTS.

OWNER TO PROVIDE 1.8M H SCREENING PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ACHIEVE CERTIFICATE OF OCCUPANCY UPON COMPLETION THIS IS TO COMPLY WITH REG. 84 (OVERLOOKING REQUIREMENTS.)

PRELIMINARY SITE PLAN NOTES:

SITING IS SUBJECT TO A CLEAR COPY OF TITLE. SITING IS SUBJECT TO A SOIL REPORT, SURVEY AND SITE INVESTIGATION. SITING IS SUBJECT TO THE LOCATION OF EASEMENTS AND PIPE DETAILS. SITING IS SUBJECT TO FALL OF LAND. (ALLOTMENT HAS BEEN ASSUMED TO BE FLAT - NO FALL.) SITING IS SUBJECT TO THE CONFIRMATION OF COUNCIL'S BUILDING REGULATIONS AND REQUIREMENTS. SITING IS SUBJECT TO RESCODE REQUIREMENTS AND MAY ALTER TO SUIT.

TOWN PLANNING

TOWN PLANNING APPROVAL REQUIRED.

TEMPORARY FENCING:

BUILDER TO PROVIDE TEMPORARY FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTHORITY BYLAW)

SUSTAINABLE ENERGY:

DWELLING TO COMPLY W/ RELEVANT SUSTAINABLE ENERGY REQUIREMENTS.

TERMITE PROTECTION:

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S.3660.1.

BUSHFIRE PROTECTION (BAL 12.5):

PROPOSED DWELLING TO BE CONSTRUCTED IN ACCORDANCE WITH BUSHFIRE REQUIREMENTS (BAL 12.5) AS PER A.S. 3959

NOTES:



SITE AREA	
20630.00 m ²	
O/ALL SITE COVERAGE	
296.31 m ²	
IMPERMEABLE AREA	
296.31 m ²	1.44%
PERMEABLE AREA	
20333.70 m ²	98.56%
GARDEN AREA	
20333.69 m ²	98.56%

LEGEND:

- EXISTING TREE
- TREE REMOVED
- STRUCTURAL ROOT ZONE
- TREE PROTECTION ZONE
- TELEPT
- SEWER TIE
- ELEC POLE
- BOX
- METER BOX PHOTOGRAPHED
- GAS METER
- VALVE
- SW-SW- STORMWATER
- S-S- SEWER RUN
- - - ROOF LINES
- DOWNPIPE
- SCALED DOWNPIPE

DRAWING TITLE:
SITE PLAN

SCALE 1:750 (A3)

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

m **DESIGNER**
metricon
SPEC: 28/06/2022 V06

DESIGN:
DOULTON 56
FACADE:
PACIFIC

PRODUCT CODE:
VD5DOU56PACD1
CEILING:
25G, 24F RH

OWNER:
[REDACTED]
LOT 5 ILLOWA ROAD
DENNINGTON VIC 3280

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JOB N°: 748045	PERMIT N°: 000000
WIND SPEED: TBA	MASTER ISSUED: DD/MM/YYYY
DRAWN: 1MC	CHECKED: KGH
PRELIMINARY PLAN	
DATE: 10/06/24	
SHEET: 02/18	

SCRAPE NOTES:

SCRAPE APPROX. 0 MM ON R.L. 0 & SPREAD FILL OVER REMAINING BUILDING AREA TO LEVEL.

SLAB STEP-DOWNS:

THE FOLLOWING STEP-DOWNS ARE TAKEN FROM F.F.L. OF HOUSE SLAB:-

GARAGE: 135 MM
 PORTICO: 135 MM
 OUTDOOR ROOM: 135 MM

IMPORTANT NOTE:

SITE CUTS ARE SUBJECT TO PERMIT APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PL

DRAINAGE NOTES:

PROVIDE MIN. 100MM DIA. U.P.V.C. SEALED STORMWATER SYSTEM CONNECTED TO RAIN WATER TANK. OVERFLOW TO FALL TO PIC REQUIREMENTS TO RUBBLE PIT.

REFER TO ENGINEERS DRAINAGE PLAN FOR FULL STORMWATER & DRAINAGE LAYOUT AND DETAILS.

BUSHFIRE PROTECTION (BAL 12.5):

PROPOSED DWELLING TO BE CONSTRUCTED IN ACCORDANCE WITH BUSHFIRE REQUIREMENTS (BAL 12.5) AS PER A.S. 3959

SUSTAINABLE ENERGY:

DWELLING TO COMPLY W/ RELEVANT SUSTAINABLE ENERGY REQUIREMENTS.

TERMITE PROTECTION:

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S.3660.1.

TEMPORARY FENCING:

BUILDER TO PROVIDE TEMPORARY FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTHORITY BYLAW)

TOWN PLANNING

TOWN PLANNING APPROVAL REQUIRED.

PRELIMINARY SITE PLAN NOTES:

SITING IS SUBJECT TO A CLEAR COPY OF TITLE.
 SITING IS SUBJECT TO A SOIL REPORT, SURVEY AND SITE INVESTIGATION.
 SITING IS SUBJECT TO THE LOCATION OF EASEMENTS AND PIPE DETAILS.
 SITING IS SUBJECT TO FALL OF LAND. (ALLOTMENT HAS BEEN ASSUMED TO BE FLAT - NO FALL.)
 SITING IS SUBJECT TO THE CONFIRMATION OF COUNCIL'S BUILDING REGULATIONS AND REQUIREMENTS.
 SITING IS SUBJECT TO RESCODE REQUIREMENTS AND MAY ALTER TO SUIT.

SEPTIC:

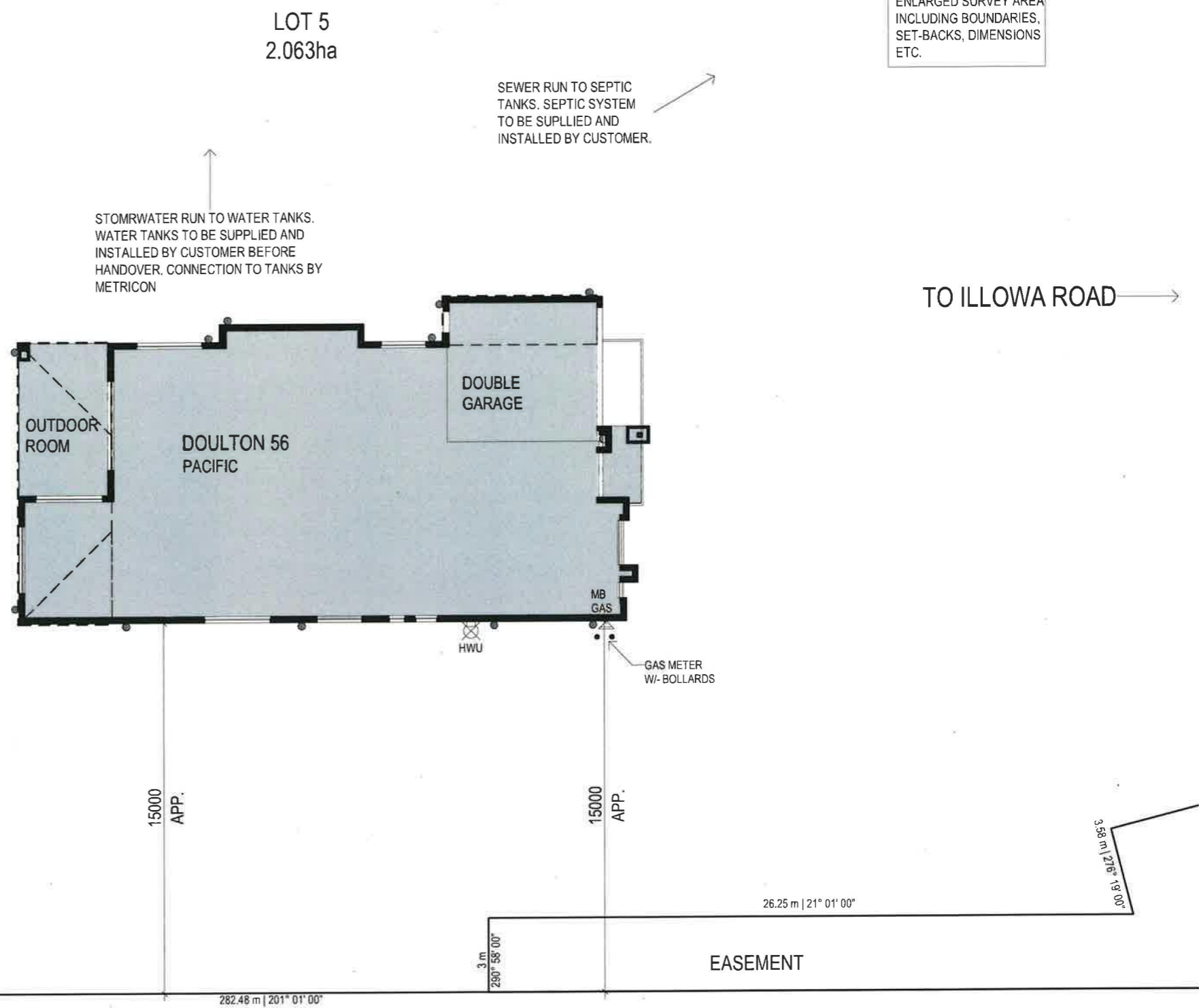
SEPTIC TANK SYSTEM TO BE PROVIDED BY OWNER IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

RESCODE NOTES:

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OWNER TO PROVIDE 1.8M H SCREENING PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ACHIEVE CERTIFICATE OF OCCUPANCY UPON COMPLETION THIS IS TO COMPLY WITH REG. 84 (OVERLOOKING REQUIREMENTS.)

NOTE:
 REFER TO SHEET 2 FOR ENLARGED SURVEY AREA INCLUDING BOUNDARIES, SET-BACKS, DIMENSIONS ETC.



NOTES:

SITE AREA	
20630.00 m ²	
O/ALL SITE COVERAGE	
296.31 m ²	
IMPERMEABLE AREA	
296.31 m ²	1.44%
PERMEABLE AREA	
20333.70 m ²	98.56%
GARDEN AREA	
20333.69 m ²	98.56%

LEGEND:

- EXISTING TREE
- TREE REMOVED
- STRUCTURAL ROOT ZONE
- TREE PROTECTION ZONE
- TELEPHONE
- SEWER
- ELEC POLE
- SEWER RUN
- ROOF LINES
- SCALED DOWN PIPE
- METER BOX
- METER BOX PORT/DRAINAGE
- GAS METER
- HWU

SURVEY DATE: TBA
CONTOUR LEVELS: TBA MM
LEVELS TO: TBA

DRAWING TITLE:
SITWORKS

SCALE 1:200 (A3)

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

m DESIGNER
 SPEC: 28/06/2022 V06

DESIGN:
DOULTON 56

PRODUCT CODE:

CEILING:
25G, 24F RH

OWNER:

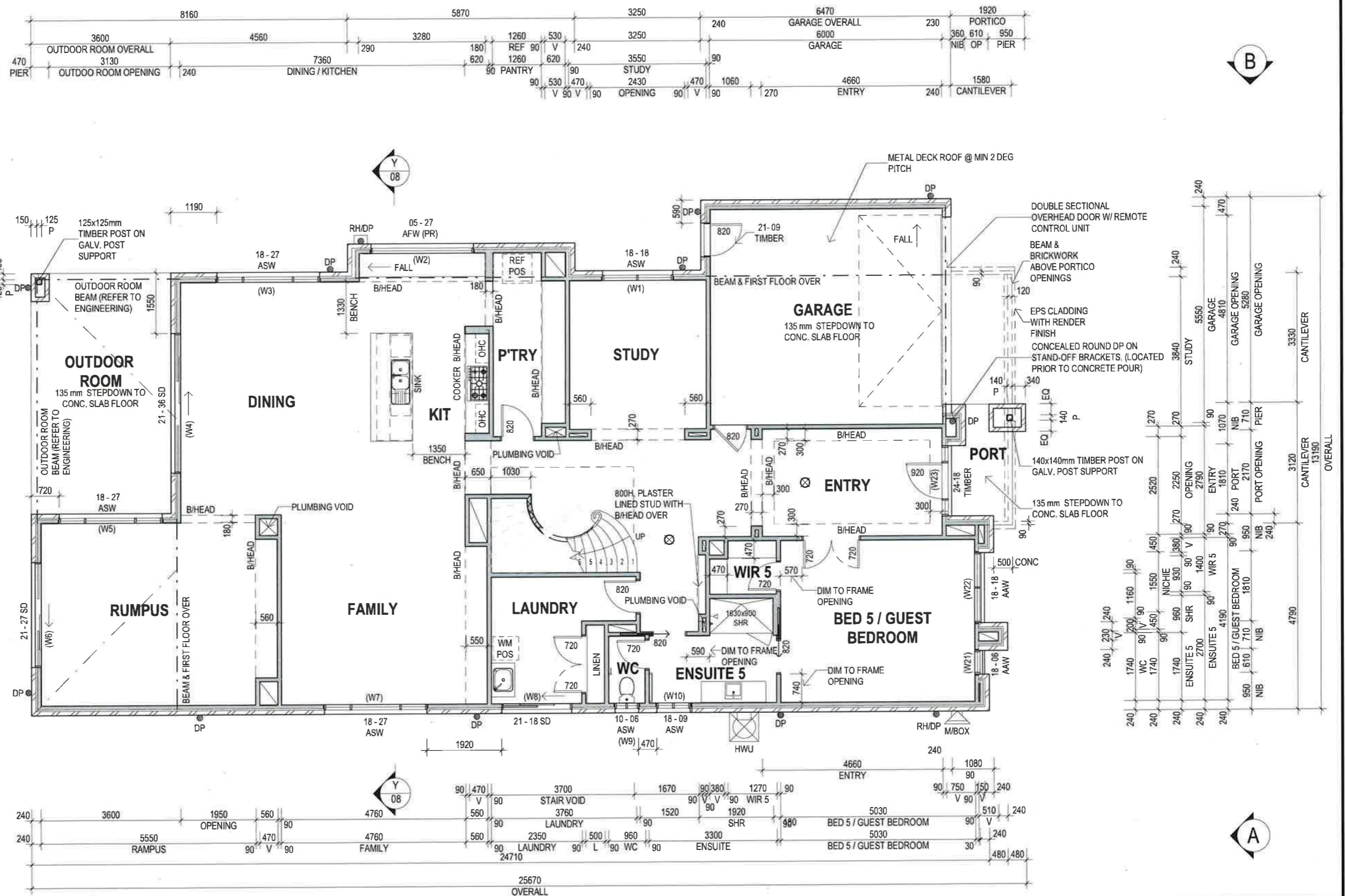
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JOB N°: 748045	PERMIT N°: 000000
WIND SPEED: TBA	MASTER ISSUED: DD/MM/YYYY
DRAWN: 1MC	CHECKED: K6H
PRELIMINARY PLAN	
DATE: 10/06/24	
SHEET: 02A/18	

13/06/2024 9:55:36 AM



NOTES:

- CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (UNO) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY
- 245D, BULKHEAD TO GROUND FLOOR (U.N.O)
- 200D, BULKHEAD TO FIRST FLOOR (U.N.O)

LEGEND:

- UNDER STAIR WALLS (WHERE APPLICABLE) - TO BE BUILT AFTER STAIR
- 70MM STUD WALLS
- SMOKE ALARM

AREA	m2	SQR
GROUND FLOOR	232.61 m ²	25.04
FIRST FLOOR	230.28 m ²	24.79
TOTAL LIVING	462.89 m ²	49.83
PORTICO	4.91 m ²	0.53
OUTDOOR ROOM	22.29 m ²	2.40
GARAGE	36.50 m ²	3.93
BALCONY	11.02 m ²	1.19
TOTAL OTHER	74.72 m ²	8.04
TOTAL	537.61 m ²	57.87

DRAWING TITLE:
GROUND FLOOR PLAN

SCALE 1:100 (A3)

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

m DESIGNER
metricon

SPEC: 28/06/2022 V06

DESIGN:
DOULTON 56

FACADE:
PACIFIC

PRODUCT CODE:
VD5DOU56PACD1

CEILING:
25G, 24F RH

501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149

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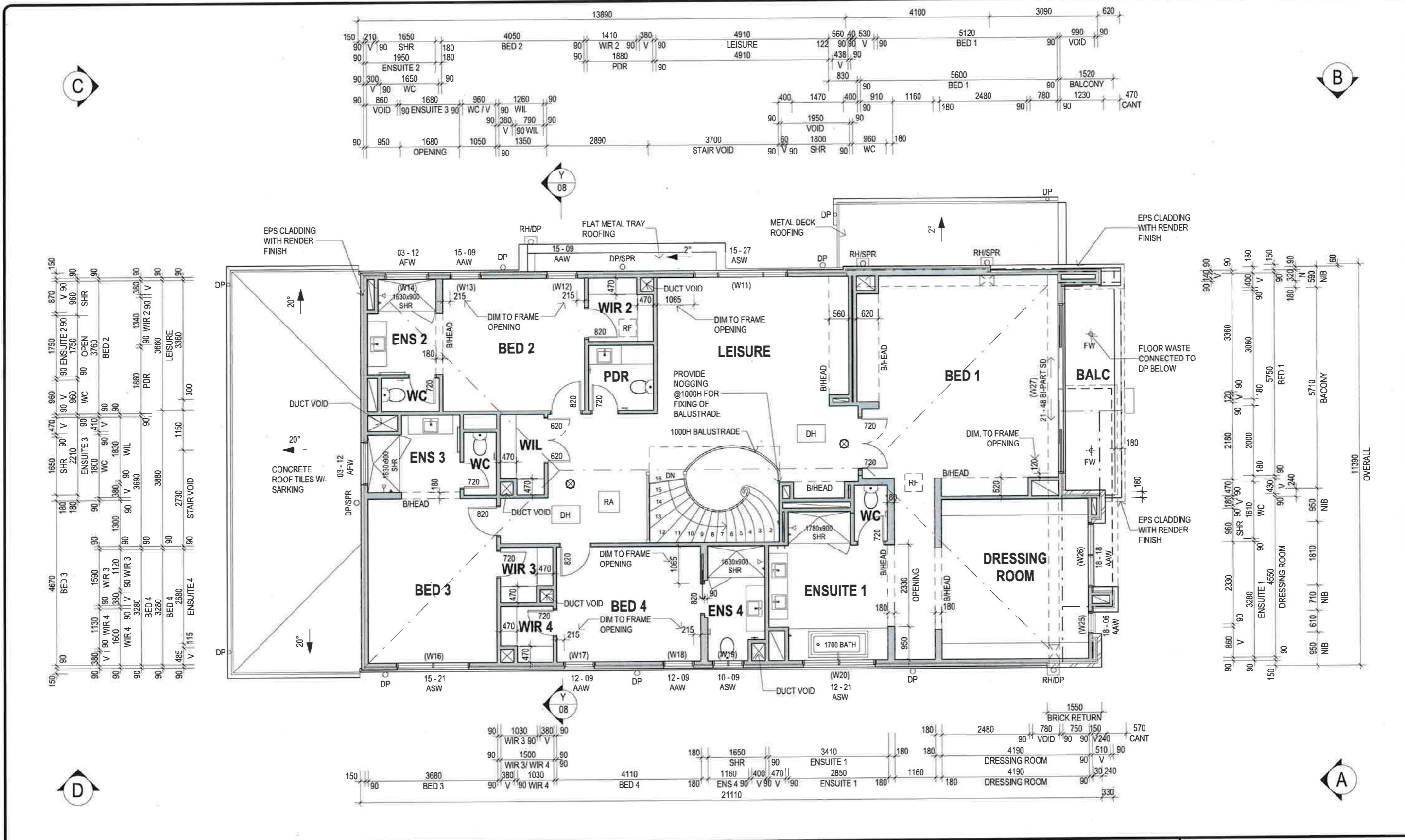
OWNER:
LOT 5 ILLOWA ROAD DENNINGTON VIC 3280

JOB N°: 748045 PERMIT N°: 000000

WIND SPEED: TBA MASTER ISSUED: DD/MM/YYYY

DRAWN: 1MC CHECKED: K6H SHEET:
PRELIMINARY PLAN 03/18
DATE: 10/06/24

13/06/2024 9:55:36 AM



NOTES:

- CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (UNO) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY
- 245D, BULKHEAD TO GROUND FLOOR (U.N.O)
- 200D, BULKHEAD TO FIRST FLOOR (U.N.O)

LEGEND:

- UNDER STAIR WALLS (WHERE APPLICABLE) - TO BE BUILT AFTER STAIR
- 70MM STUD WALLS
- DUCTED HEATING UNIT LOCATION
- DUCTED RETURN AIR
- ROOF ACCESS
- SMOKE ALARM

DRAWING TITLE:
FIRST FLOOR PLAN

SCALE 1:100 (A3)

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

m DESIGNER
metricon

SPEC: 28/06/2022 V06

DESIGN:
DOULTON 56

FACADE:
PACIFIC

PRODUCT CODE:
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CEILING:
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OWNER:
LOT 5 ILLOWA ROAD
DENNINGTON VIC 3280

JOB N°: 748045
PERMIT N°: 000000

WIND SPEED: TBA
MASTER ISSUED: DD/MM/YYYY

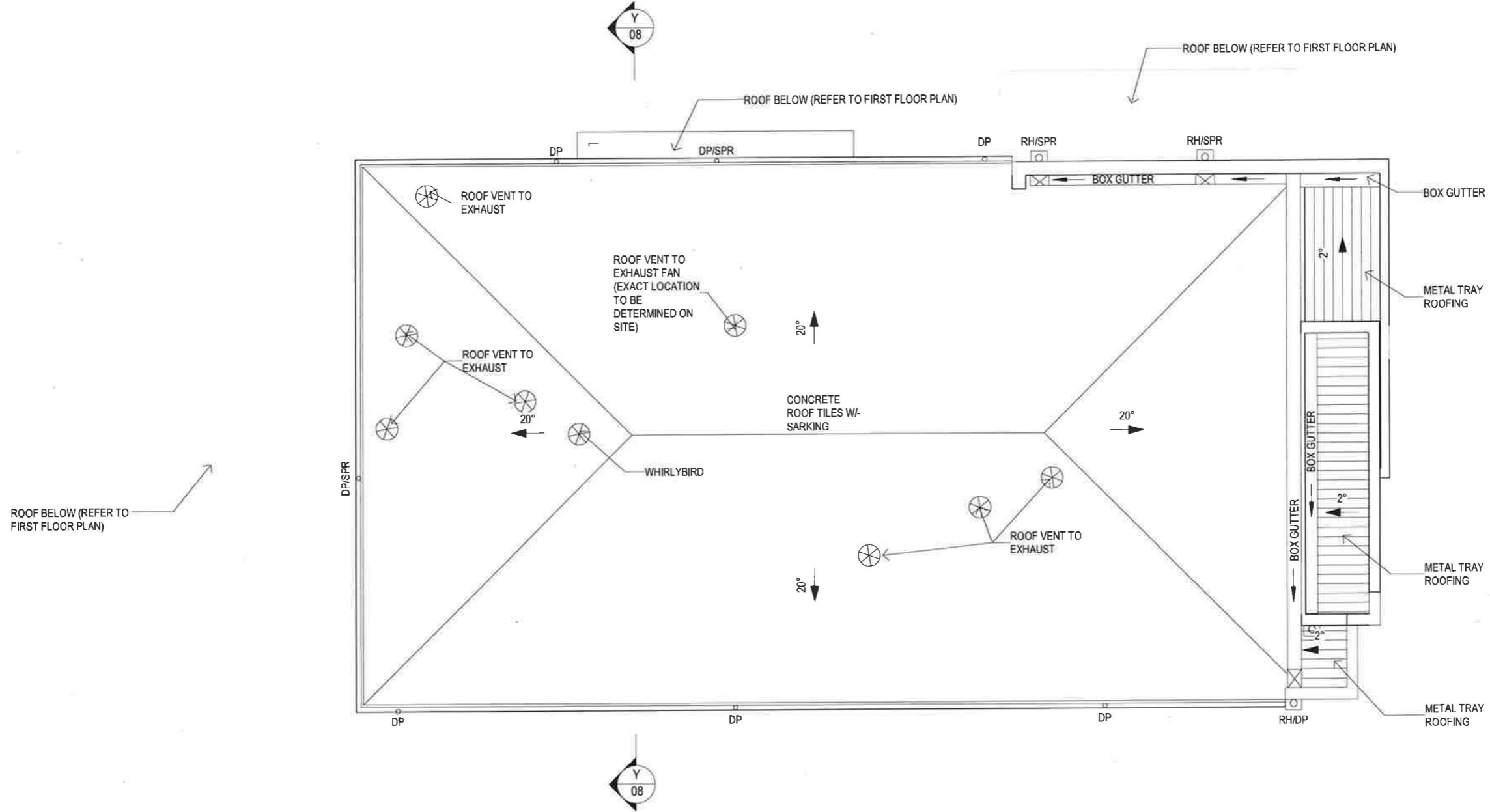
DRAWN: 1MC
CHECKED: K6H
SHEET: PRELIMINARY PLAN
DATE: 10/06/24

04/18

13/06/2024 9:55:37 AM

C

B



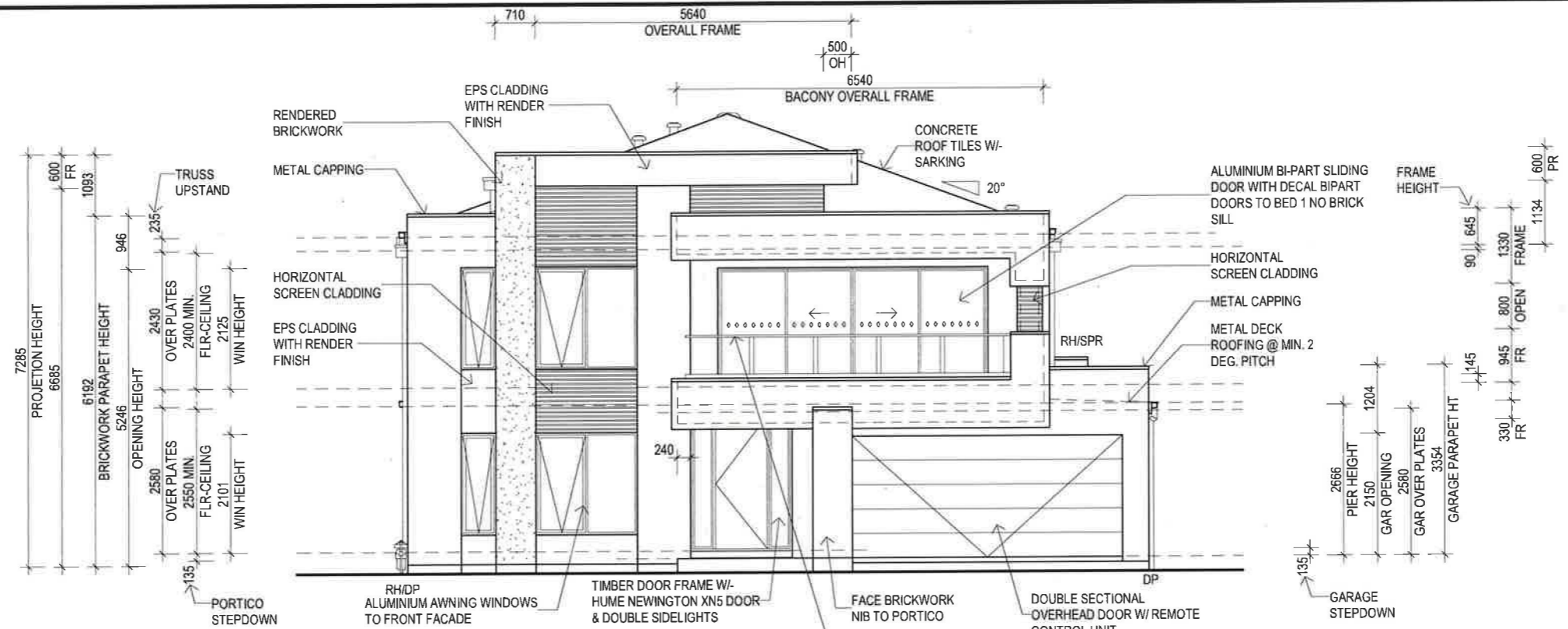
D

A

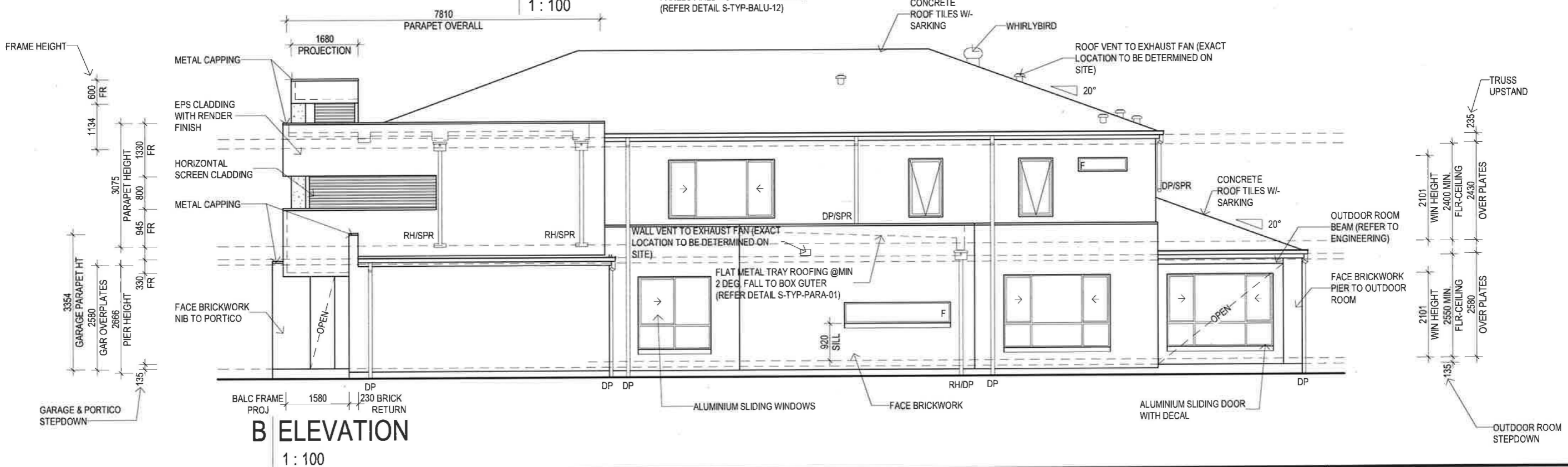
DRAWING TITLE: ROOF PLAN SCALE 1: 100 (A3) Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.	DESIGN: DOULTON 56 FACADE: PACIFIC	PRODUCT CODE: VD5DOU56PACD1 CEILING: 25G, 24F RH	OWNER: [REDACTED] LOT 5 ILLOWA ROAD DENNINGTON VIC 3280
	501 Blackburn Road, Mount Waverley, VIC, 3149 P.O. Box 857, Mount Waverley, VIC, 3149 Builders Licence N°: CDB-U 52967 ACN: 005 108 752 Tel 1300 785 773 www.metriconhomes.com.au	© COPYRIGHT Metricon homes owns copyright in this drawing. Unauthorised use, reproduction or adaptation is forbidden and will be prosecuted.	JOB N°: 748045 WIND SPEED: TBA DRAWN: 1MC PRELIMINARY PLAN DATE: 10/06/24

13/06/2024 9:55:38 AM

m DESIGNER
 metricon
 SPEC: 28/06/2022 V06



A ELEVATION
1 : 100



B ELEVATION
1 : 100

- NOTES:**
- DOWNPIPES SHOWN ARE INDICATIVE ONLY, REFER DETAIL.
 - PROVIDE ALUMINIUM SLIDING WINDOWS & DOORS TO ALL SIDE & REAR ELEVATIONS UNLESS NOTED OTHERWISE
 - PROVIDE BRICKWORK ABOVE GROUND FLOOR FRONT ELEVATION WINDOWS & ABOVE GARAGE DOOR OPENING, F.C SHEET INFILL ABOVE FRONT ENTRY DOOR FRAME UNLESS NOTED OTHERWISE.
 - PROVIDE 235MM TRUSS UPSTAND TO ACCOMMODATE BOX GUTTER & SUMP TO PAVILLION FACADE
 - PROVIDE ALUM. MESH INSECT SCREENS TO ALL STANDARD OPENABLE WINDOWS (EXC. GARAGE) & SLIDING DOORS.

- ALUMINIUM WINDOW & DOOR FRAMES BY "SOUTHERN STAR ALUMINIUM WINDOWS & DOORS", TIMBER WINDOWS AND DOOR FRAMES BY "CANTERBURY TIMBER WINDOWS & DOORS"

DRAWING TITLE:
ELEVATIONS

SCALE 1:100 (A3)

Do NOT scale this drawing.
All written dimensions take precedence over scaled dimension. If in doubt, ASK.

m **DESIGNER**
metricon

SPEC: 28/06/2022 V06

DESIGN:
DOULTON 56

FACADE:
PACIFIC

PRODUCT CODE:
VD5DOU56PACD1

CEILING:
25G, 24F RH

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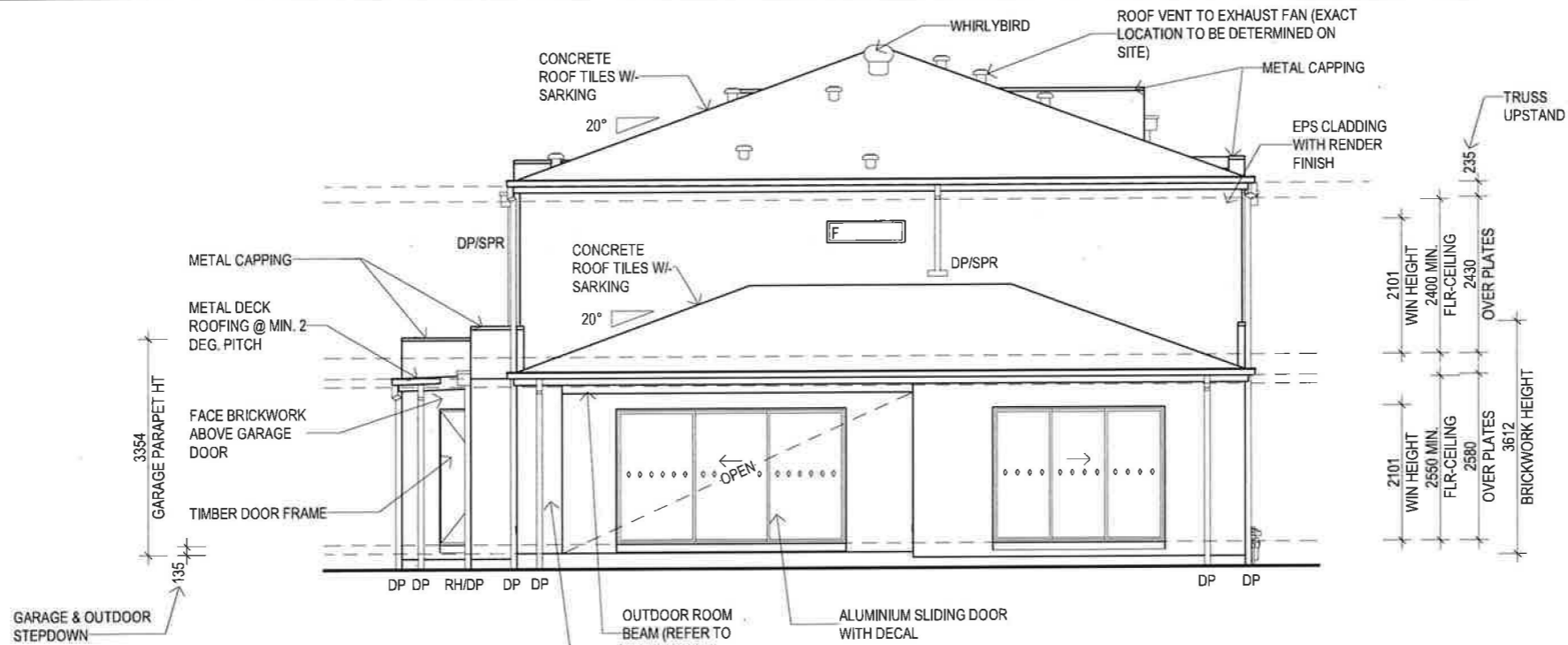
LOT 5 ILLOWA ROAD
DENNINGTON VIC 3280

JOB N°: 748045 PERMIT N°: 000000

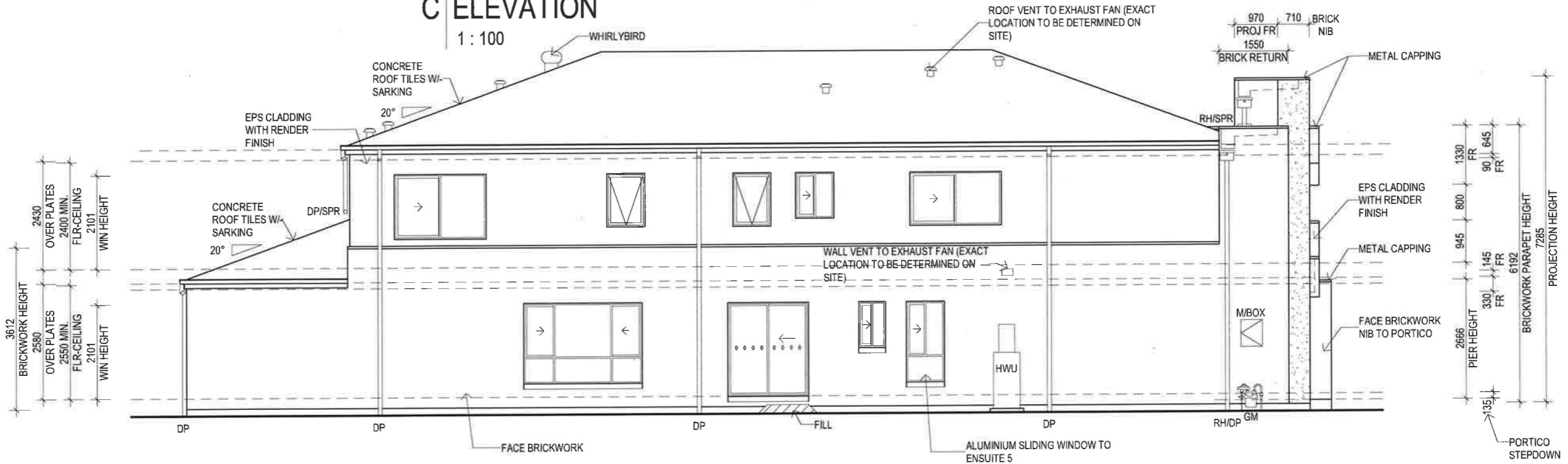
WIND SPEED: TBA MASTER ISSUED: DD/MM/YYYY

DRAWN: 1MC CHECKED: K6H SHEET:
PRELIMINARY PLAN 06/18
DATE: 10/06/24

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C ELEVATION
1 : 100



D ELEVATION
1 : 100

- NOTES:**
- DOWNPIPES SHOWN ARE INDICATIVE ONLY, REFER DETAIL.
 - PROVIDE ALUMINIUM SLIDING WINDOWS & DOORS TO ALL SIDE & REAR ELEVATIONS UNLESS NOTED OTHERWISE
 - PROVIDE 105MM TRUSS UPSTAND TO ACCOMMODATE BOX GUTTER & SUMP TO PAVILLION FACADE
 - PROVIDE ALUM. MESH INSECT SCREENS TO ALL STANDARD OPENABLE WINDOWS (EXC. GARAGE) & SLIDING DOORS.

- ALUMINIUM WINDOW & DOOR FRAMES BY "SOUTHERN STAR ALUMINIUM WINDOWS & DOORS". TIMBER WINDOWS AND DOOR FRAMES BY "CANTERBURY TIMBER WINDOWS & DOORS"

DRAWING TITLE:
ELEVATIONS

SCALE: 1 : 100 (A3)

Do NOT scale this drawing.
All written dimensions take precedence over scaled dimension. If in doubt, ASK.

DESIGN:
DOULTON 56

FACADE:
PACIFIC

PRODUCT CODE:
VD5DOU56PACD1

CEILING:
25G, 24F RH

OWNER:
[REDACTED]

LOT 5 ILLOWA ROAD
DENNINGTON VIC 3280

JOB N°: 748045 PERMIT N°: 000000

WIND SPEED: TBA MASTER ISSUED: DD/MM/YYYY

m
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DESIGNER

SPEC: 28/06/2022 V06

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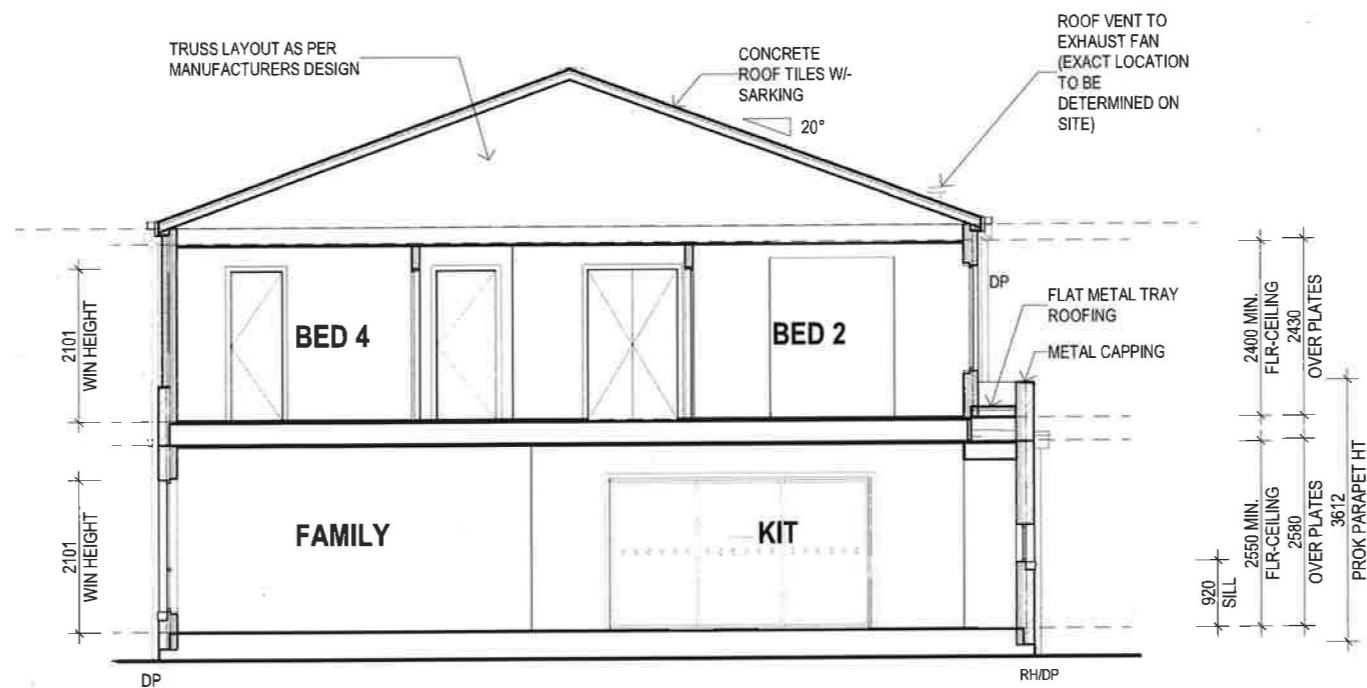
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DRAWN: 1MC CHECKED: K6H SHEET:
PRELIMINARY PLAN
DATE: 10/06/24

07/18

13/06/2024 9:55:40 AM



Y SECTION
1:100

NOTE: SECTION VIEW IS INDICATIVE ONLY - CONSTRUCTION DETAILS, COLOUR SELECTION & CONTRACT DOCUMENTATION ITEMS TAKE PRECEDENCE




NOTES:

- STAIR / BALUSTRADE SHOWN ARE INDICATIVE ONLY. REFER COLOUR SELECTION.

DRAWING TITLE: SECTION <small>Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.</small>	DESIGN: DOULTON 56	PRODUCT CODE: VD5DOU56PACD1	OWNER: [REDACTED]
	FACADE: PACIFIC	CEILING: 25G, 24F RH	LOT 5 ILLOWA ROAD DENNINGTON VIC 3280
501 Blackburn Road, Mount Waverley, VIC, 3149 P.O. Box 857, Mount Waverley, VIC, 3149 Builders Licence N°: CDB-U 52967 ACN: 005 108 752 Tel: 1300 786 773 www.metriconhomes.com.au	© COPYRIGHT Metricon homes owns copyright in this drawing. Unauthorised use, reproduction or adaptation is forbidden and will be prosecuted.	JOB N°: 748045 WIND SPEED: TBA DRAWN: 1MC PRELIMINARY PLAN DATE: 10/06/24	PERMIT N°: 000000 MASTER ISSUED: DD/MM/YYYY CHECKED: K6H SHEET: 08/18

13/06/2024 9:55:41 AM


FLOOR COVERINGS

	CARPET	65.5 m ²
	TILED	109.6 m ²
	WET AREA TILES	18.4 m ²




MASTER PLAN NOTE: ONLY WET AREA AND BALCONY (WHERE BALCONY IS ADOPTED) TILES ARE PROVIDED AS STANDARD. REFER TO SPECIFICATION DOCUMENT DETAILS. ADDITIONAL FLOOR COVERINGS SHOWN ARE INDICATIVE.



13/06/2024 9:55:41 AM

DRAWING TITLE: GROUND FLOOR FLOOR COVERINGS	DESIGN: DOULTON 56	PRODUCT CODE: VD5DOU56PACD1	OWNER: [REDACTED]
	FACADE: PACIFIC	CEILING: 25G, 24F RH	LOT 5 ILLOWA ROAD DENNINGTON VIC 3280
SCALE 1:100 (A3)	501 Blackburn Road, Mount Waverley, VIC, 3149 P.O. Box 857, Mount Waverley, VIC, 3149 Builders Licence N°: CDB-U 52967 ACN: 005 108 752 Tel: 1300 786 773 www.metriconhomes.com.au	© COPYRIGHT Metricon homes owns copyright in this drawing. Unauthorised use, reproduction or adoption is forbidden and will be prosecuted.	JOB N°: 748045 PERMIT N°: 000000 WIND SPEED: TBA MASTER ISSUED: DD/MM/YYYY DRAWN: 1MC CHECKED: K6H PRELIMINARY PLAN DATE: 10/06/24
 DESIGNER SPEC: 28/06/2022 V06	SHEET: 09/18		

FLOOR COVERINGS

-  BALCONY TILES 8.1 m²
-  CARPET 159.5 m²
-  WET AREA TILES 31.3 m²

MASTER PLAN NOTE: ONLY WET AREA AND BALCONY (WHERE BALCONY IS ADOPTED) TILES ARE PROVIDED AS STANDARD. REFER TO SPECIFICATION DOCUMENT DETAILS. ADDITIONAL FLOOR COVERINGS SHOWN ARE INDICATIVE.



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<p>DRAWING TITLE: FIRST FLOOR FLOOR COVERINGS</p> <p>SCALE 1:100 (A3)</p> <p>Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. <i>If in doubt, ASK.</i></p>	<p>DESIGN: DOULTON 56</p> <p>FACADE: PACIFIC</p>	<p>PRODUCT CODE: VD5DOU56PACD1</p> <p>CEILING: 25G, 24F RH</p>	<p>OWNER: [REDACTED]</p> <p>LOT 5 ILLOWA ROAD DENNINGTON VIC 3280</p>
<p>501 Blackburn Road, Mount Waverley, VIC, 3149 P.O. Box 857, Mount Waverley, VIC, 3149</p> <p>Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing Tel 1300 786 773 www.metriconhomes.com.au</p>		<p>© COPYRIGHT Metricon homes owns copyright Unauthorised use, reproduction or adaption is forbidden and will be prosecuted.</p>	
<p>m DESIGNER metricon</p>		<p>SPEC: 28/06/2022 V06</p>	
<p>JOB N°: 748045</p> <p>WIND SPEED: TBA</p> <p>DRAWN: 1MC</p>		<p>PERMIT N°: 000000</p> <p>MASTER ISSUED: DD/MM/YYYY</p> <p>CHECKED: K6H</p>	
<p>PRELIMINARY PLAN</p> <p>DATE: 10/06/24</p>		<p>SHEET: 10/18</p>	