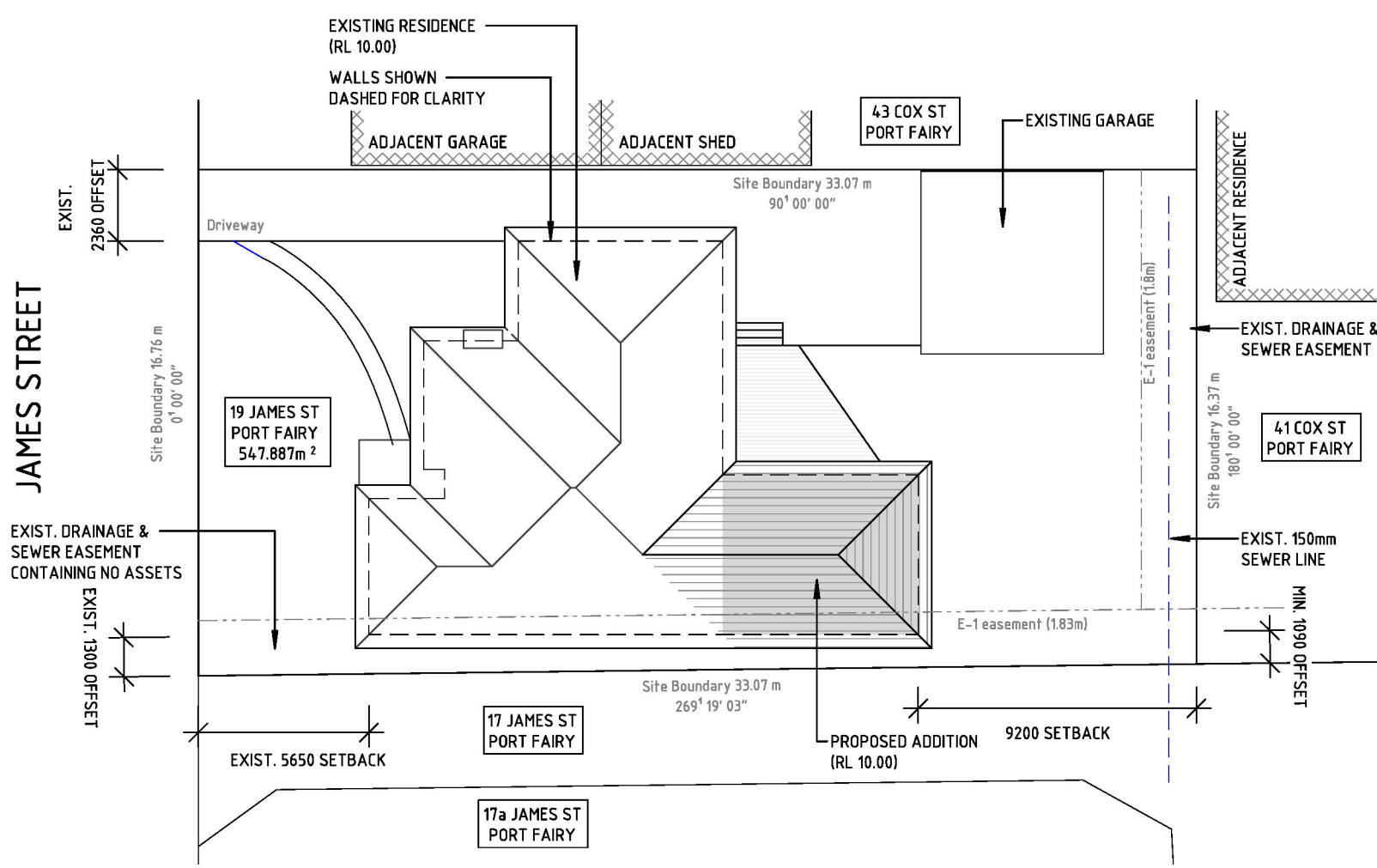
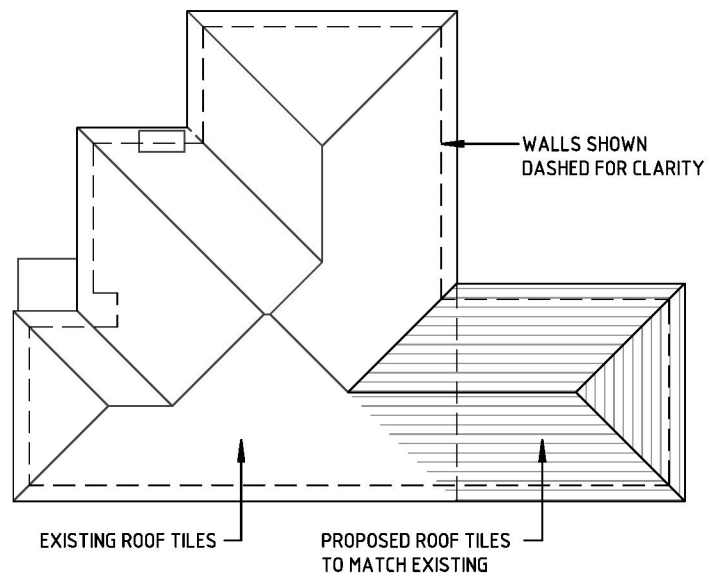


SITE ANALYSIS	
PROJECT ADDRESS:	- 19 JAMES STREET, PORT FAIRY
SITE AREA:	- 547.887m <sup>2</sup>
BUILDING CLASSIFICATION:	- CLASS 1a
PLANNING ZONE:	- GENERAL RESIDENTIAL (GRZ)
PLANNING OVERLAY:	- DESIGN & DEVELOPMENT OVERLAY (DDO) - HERITAGE OVERLAY (HO)
SITE COVERAGE:	- BUILDING COVERAGE = 197.8m <sup>2</sup> = 36.1% SITE COVERAGE - PERMEABLE AREA = 260.7m <sup>2</sup> = 47.5% SITE COVERAGE - GARDEN AREA = 270.7m <sup>2</sup> = 49.4% SITE COVERAGE
HEIGHT:	- APPROX. 5.9m (EXIST.)
SETBACKS:	- NORTH = 2.36 (EXIST.) - SOUTH = 1.09m EAST END / 1.3m WEST END (EXIST.) - EAST = 9.20m - WEST = 5.65m (EXIST.)
S.P.O.S.:	- MIN. 300m <sup>2</sup>
LANDSCAPING:	- NONE PROPOSED
FENCING:	- NONE PROPOSED
FRONTAGE:	- REFER TO WEST ELEVATION



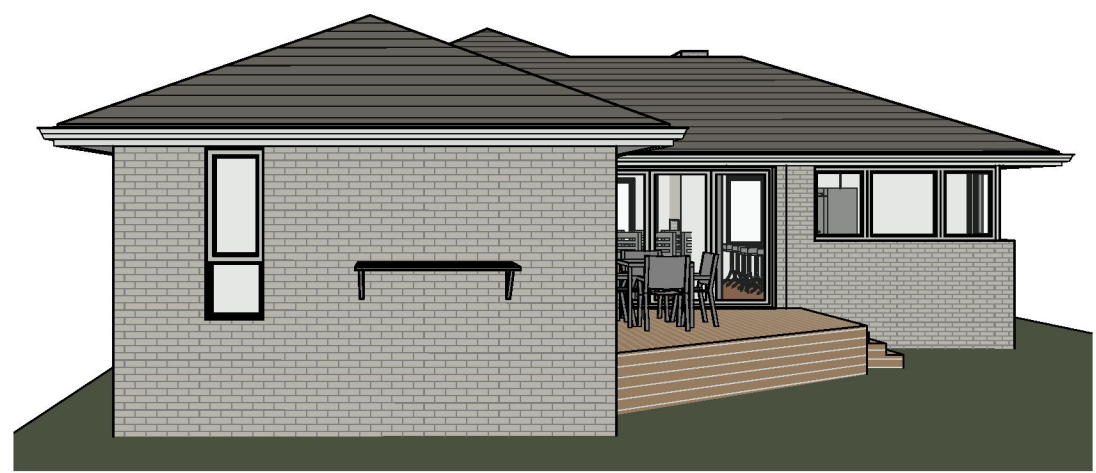
**SITE PLAN**  
 1:200



**ROOF PLAN**  
 1:200

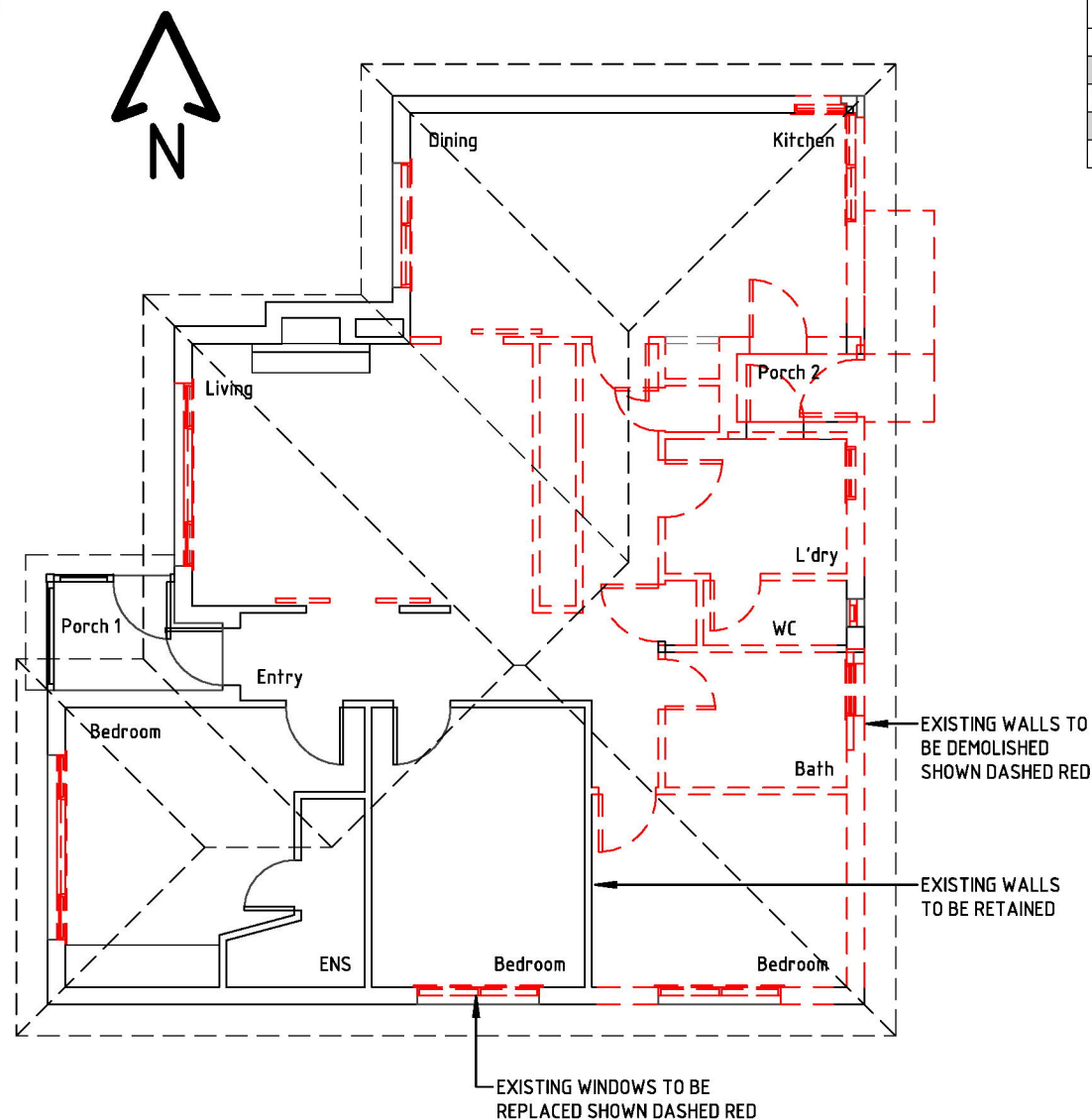


**NORTHEAST PERSPECTIVE**



**EAST PERSPECTIVE**

AREA ANALYSIS		
Name	Area	SQ'S
Existing residence	126.92 m <sup>2</sup>	13.66
Proposed addition	34.28 m <sup>2</sup>	3.69
Proposed deck	17.27 m <sup>2</sup>	1.86
Exist. porch	3.68 m <sup>2</sup>	0.40

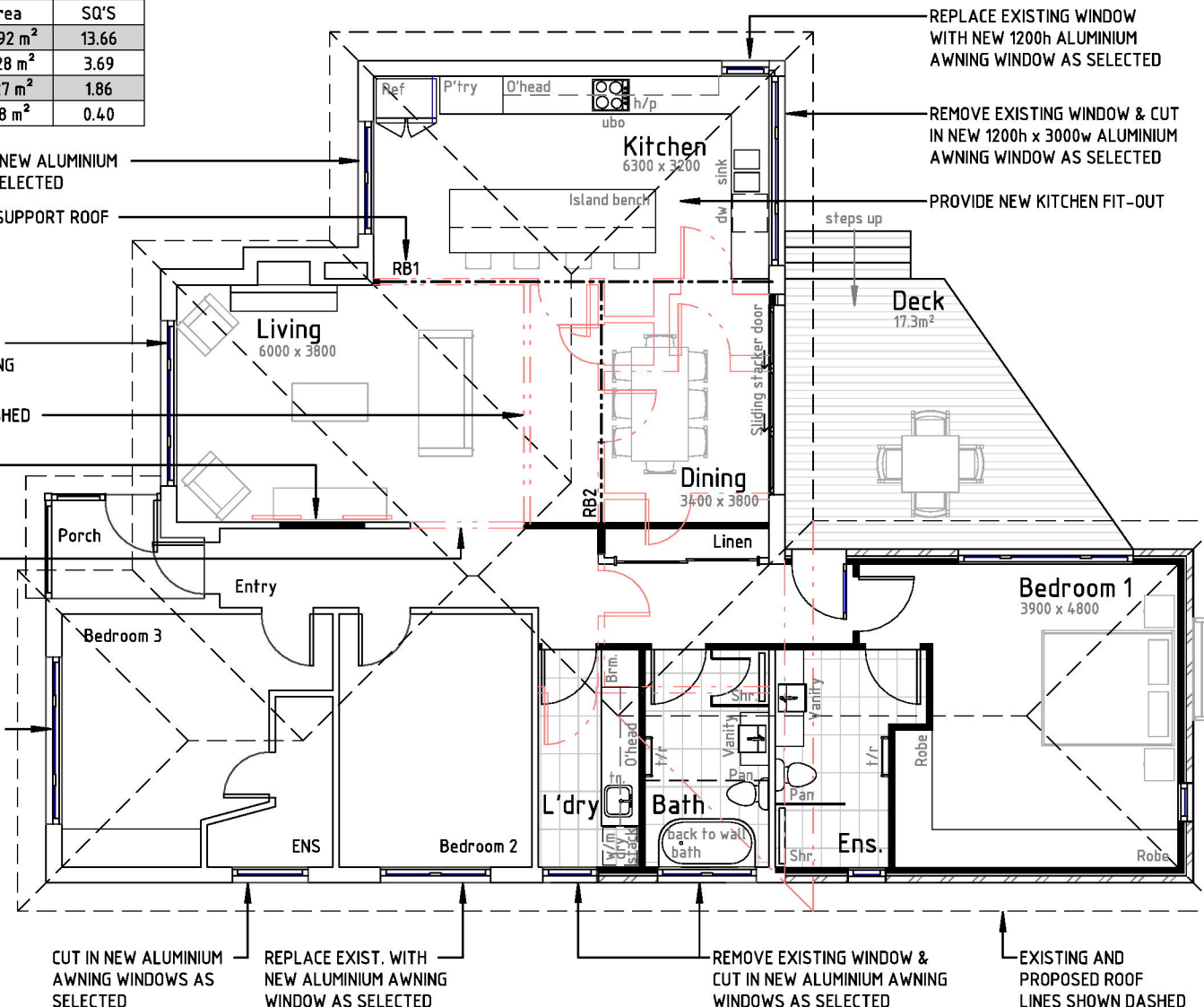


**DEMOLITION PLAN**

1 : 100

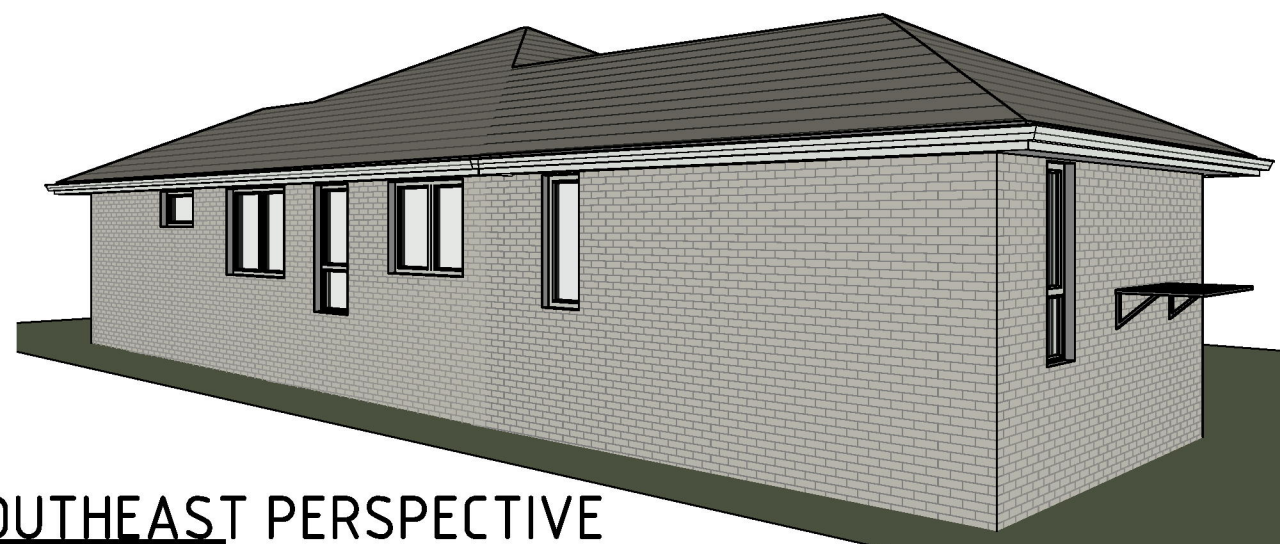
**FLOOR PLAN**

1 : 100

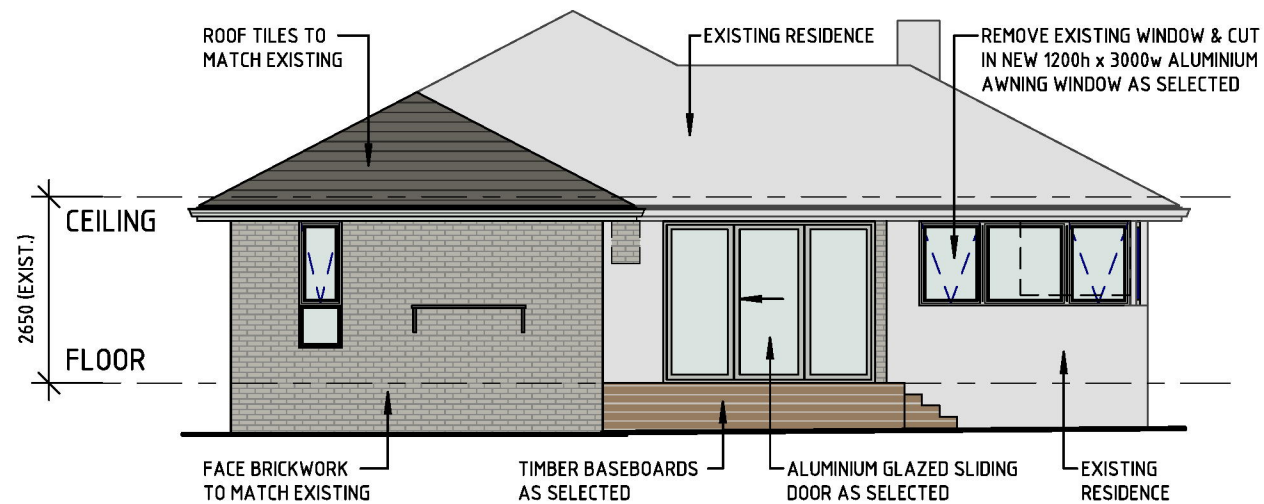


**LEGEND**

- 240MM BRICK VENEER WALLS
- 90MM STUD WALLS
- EXISTING WALLS TO BE RETAINED
- EXISTING WALLS TO BE REMOVED



**SOUTHEAST PERSPECTIVE**



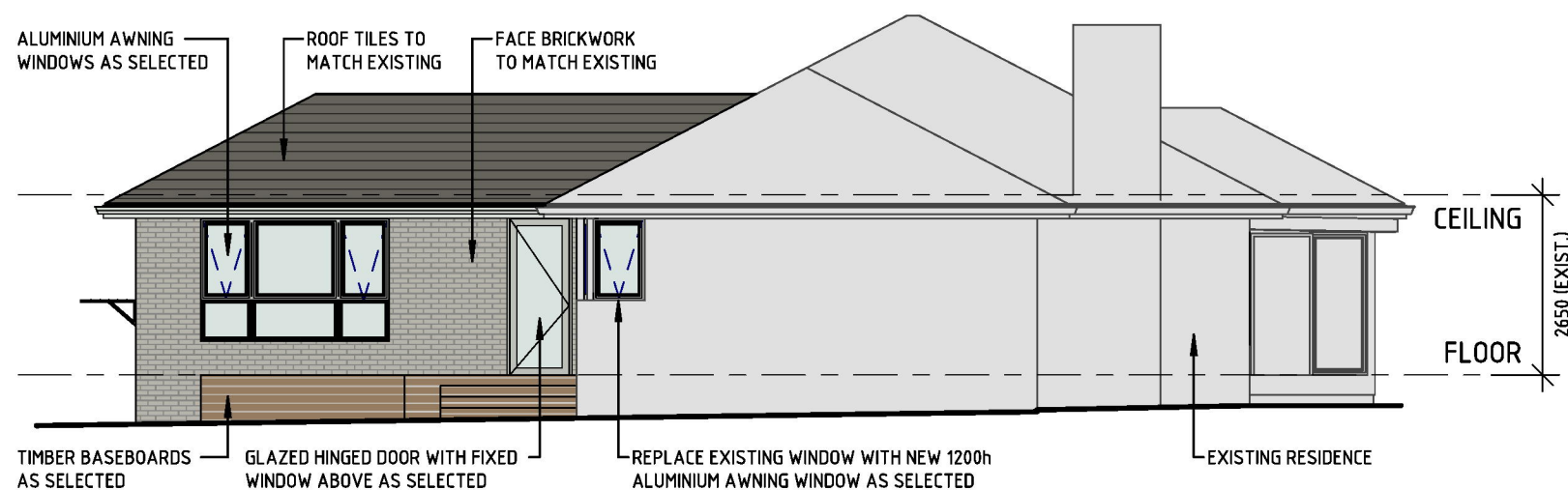
**EAST ELEVATION**

1 : 100



**WEST ELEVATION**

1 : 100



**NORTH ELEVATION**

1 : 100



**SOUTH ELEVATION**

1 : 100