

Artist's Impression

EXTERNAL FINISHES

<p>ASP-01 TYPE: SEALED ASPHALT ON COMPACTED BASE COLOUR: BLACK TONE SEALED DRIVEWAY & LANDSCAPE ELEMENTS</p>	<p>CON-01 TYPE: PRECAST CONCRETE WITH FORMED STONE TEXTURE COLOUR: SUBTLE EARTHY TONE MACHINERY SHED EXTERNAL WALLS</p>	<p>MET-00 TYPE: ANODIZED OR POWDERCOAT ALUMINIUM COLOUR: BLACK TONE WINDOW FRAMES & DETAIL ACCENTS</p>	<p>MET-01 TYPE: METAL ROOFING (COLORBOND OR ZINC) PROFILE: STANDING SEAM COLOUR: BLACK OR DARK GREY VISIBLE GABLED ROOF CLADDING</p>	<p>PEB-01 TYPE: LOOSE LAID TUMBLED BASALT PEBBLES COLOUR: DARK GREY (BLUESTONE) TONES LANDSCAPE ELEMENTS</p>	<p>STN-01 TYPE: NATURAL STONE WALLING (BASALT OR GRANITE) COLOUR: SUBTLE EARTHY TONES LAY PATTERN: FREE-FORM EXTERNAL & INTERNAL STONE CLAD WALL ELEMENTS</p>	<p>STN-02 TYPE: DIAMOND SAWN BLUESTONE TILE COLOUR: DARK GREY BLUE TONES EXTERNAL STONE PAVING & LANDSCAPE ELEMENTS</p>	<p>TIM-01 TYPE: AUST. HARDWOOD POSTS & BEAMS & BATTENS COLOUR: NATURAL WEATHERED TIMBER EXPRESSED TIMBER STRUCTURAL ELEMENTS</p>	<p>TIM-02 AUSTRALIAN TIMBER LINING BOARDS (V-JOINTED) COLOUR: NATURAL WEATHERED OR STAIN TONE EXTERNAL WALL ELEMENTS & SOLID DOORS</p>

DRAWING REGISTER			
No.	NAME	REV	DATE
TP-00	GENERAL NOTES + DRAWING REGISTER		20/11/2024
TP-01	SITE PLAN OVERALL - EXISTING		20/11/2024
TP-02	SITE PLAN OVERALL - PROPOSED + AERIAL		20/11/2024
TP-03	SITE PLAN OVERALL - PROPOSED + CONTOURS		20/11/2024
TP-04	SITE PLAN DEVELOPMENT AREA - PROPOSED		20/11/2024
TP-05	SITE ANALYSIS PLAN - PROPOSED		20/11/2024
TP-06	BASEMENT FLOOR PLAN (HOUSE) - PROPOSED		20/11/2024
TP-07	GROUND FLOOR PLAN (HOUSE) - PROPOSED		20/11/2024
TP-08	ROOF PLAN (HOUSE) - PROPOSED		20/11/2024
TP-09	ELEVATIONS (HOUSE) - PROPOSED		20/11/2024
TP-10	ELEVATIONS (POOL HOUSE) - PROPOSED		20/11/2024
TP-11	SECTIONS (HOUSE) - PROPOSED		20/11/2024
TP-12	GROUND FLOOR PLAN (MACHINERY SHED) - PROPOSED		20/11/2024
TP-13	ROOF PLAN (MACHINERY SHED) - PROPOSED		20/11/2024
TP-14	ELEVATIONS (MACHINERY SHED) - PROPOSED		20/11/2024
TP-15	SECTIONS (MACHINERY SHED) - PROPOSED		20/11/2024

THIS DRAWING SET IS TO BE READ IN CONJUNCTION WITH THE FOLLOWING SUPPLEMENTARY REPORTS / DRAWINGS:

TOWN PLANNING REPORT
MYERS PLANNING & ASSOCIATES (MPAA STUDIO)
Steve Myers - Managing Director
steve@myersplanninggroup.com.au 0402 079 429

COASTAL HAZARD VULNERABILITY ASSESSMENT REPORT
WATER TECHNOLOGY
William Stevenson-Vissers - Project Scientist
will.stevenson-vissers@watertech.com.au (03) 8526 0800

LAND CAPABILITY ASSESSMENT REPORT
PROVINCIAL GEOTECHNICAL PTY LTD
Andrew Redman - Geologist
admin@pgvic.com.au (03) 5223 1566

VEGETATION (FLORA & FAUNA) ASSESSMENT REPORT
OKOLOGIE CONSULTING PTY LTD
Mark Stockdale - Principle Ecologist
mark@okologie.com.au 0419 786 533

AREA SCHEDULE	
SITE AREA	450,100 m ²
RESIDENCE INTERNAL AREA: GROUND FLOOR BASEMENT	655 m ² 476 m ²
POOL PAVILION INTERNAL AREA	108 m ²
TOTAL ENCLOSED AREA	1,239 m²
OUTBUILDING AREA: MACHINERY SHED INTERNAL AREA	920 m ²
TOTAL EXTERIOR AREA	TBC m²
WASTE WATER TREATMENT	200.0 m ²

EXTERNAL FINISHES SCHEDULE	
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CON-01	TYPE: PRECAST CONCRETE WITH FORMED STONE TEXTURE COLOUR: SUBTLE EARTHY TONE MACHINERY SHED EXTERNAL WALLS
GL-01	TYPE: DOUBLE / TRIPLE GLAZED UNITS COLOUR: CLEAR GLASS GLAZED ELEMENTS
MET-00	TYPE: ANODIZED OR POWDERCOAT ALUMINIUM COLOUR: BLACK TONE WINDOW FRAMES & DETAIL ACCENTS
MET-01	TYPE: METAL ROOFING (COLORBOND OR ZINC) PROFILE: STANDING SEAM COLOUR: BLACK OR DARK GREY VISIBLE GABLED ROOF CLADDING
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TIM-02	TYPE: AUST. TIMBER LINING BOARDS (V-JOINTED) COLOUR: NATURAL WEATHERED OR STAIN CHARCOAL TONE EXTERNAL WALL ELEMENTS & SOLID DOORS

Rev	Date	Drawn	Chkd	Amendments

Rev	Date	Drawn	Chkd	Amendments

Builders / Contractors shall verify all dimensions before any work commences. Dimensions shown are nominal. Figured dimensions shall take precedence over scaled dimensions. Any discrepancies are to be made known to the architect's / designer's office prior to any works commencing on site. All shop drawings shall be submitted for review and manufacture shall not commence prior to the return of unamended shop drawings.

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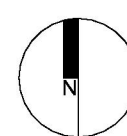
PROJECT AND NUMBER # 23006 PORT FAIRY RESIDENCE	CLIENT [REDACTED]
DATE 20/11/2024	DRAWN AM
SCALE 1 : 50 @ A1	

TITLE GENERAL NOTES + DRAWING REGISTER	DWG NO. TP-00
STATUS TOWN PLANNING APPLICATION	REV -

PART OF THIS PROPERTY IS AN AREA OF CULTURAL HERITAGE SENSITIVITY.
 THIS PROPERTY IS IN A DESIGNATED BUSHFIRE PRONE ZONE.



SUBJECT SITE
 2681 PRINCES HIGHWAY, PORT FAIRY
 CROWN ALLOTMENT 2A, 2 (PART), 3, 7 (PART)
 VOLUME 11 878, FOLIO 41 3
 COUNCIL PROPERTY NO. 5331179
 PARCEL PC 375165L
 COMBINED AREA: 45.01 ha



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PROJECT AND NUMBER # 23006 PORT FAIRY RESIDENCE		TITLE SITE PLAN OVERALL - EXISTING	
CLIENT [REDACTED]		STATUS TOWN PLANNING APPLICATION	
DATE 20/11/2024	DRAWN AM	SCALE 1:2500@ A1	DWG NO. REV TP-01 -



- DRIVEWAY REQUIREMENTS - 2681 PRINCES HWY, PORT FAIRY:
1. PRIOR TO APPROVAL OF ANY PERMIT FOR CONSTRUCTION OF ANY DWELLINGS ON LOT, A DRIVEWAY MUST BE PROVIDED TO THE DWELLING SITE FROM A MAIN ROAD WHEREBY THE 1% AEP FLOOD DEPTH OVER THE DRIVEWAY IS LESS THAN 300MM AND THE APPLICABLE 1% AEP FLOOD HAZARD (VELOCITY x DEPTH) IS LESS THAN 0.32 m/s.
 2. DRIVEWAYS MUST INCORPORATE CULVERTS OF SUFFICIENT SIZE AND QUANTITY TO MAINTAIN THE EXISTING FLOOD WATER MOVEMENT AND STORAGE CHARACTERISTICS OF THE SUBJECT LAND.
 3. IT MUST BE DEMONSTRATED THAT WORKS WITHIN THE FLOODPLAIN WILL NOT INTERFERE WITH THE NATURAL FLOODING REGIMES, WILL MAINTAIN THE FREE PASSAGE AND TEMPORARY STORAGE OF FLOODWATERS, IS COMPATIBLE WITH FLOOD HAZARD AND LOCAL DRAINAGE CONDITIONS AND WILL NOT CAUSE ANY SIGNIFICANT RISE IN WATER LEVELS AND VELOCITIES. MODELING UNDERTAKEN MUST COMPLY WITH THE GLENELG HOPKINS MODELING GUIDELINES AND SPECIFICATIONS AND SURVEY MUST BE COMPLETED BY A LICENSED SURVEYOR.
 4. MARKER POSTS SHALL BE INSTALLED TO IDENTIFY THE EDGES OF THE RAISED DRIVEWAY.
 5. THE DRIVEWAY MUST BE AN ALL-WEATHER SURFACED ROAD WITH A MINIMUM CLEAR TRAFFICABLE WIDTH OF 3.5M AND BE SUBSTANTIALLY CLEAR OF ENCROACHMENTS FOR A MINIMUM OF 0.5M ON EACH SIDE AND CLEAR OF ENCROACHMENTS AT LEAST 4M VERTICALLY.
 6. THE DRIVEWAY SHALL AVOID ANY FLOODING HAZARDS AND SHALL BE ELEVATED ACCORDINGLY - PER NOTES 1,2 AND 3 ABOVE.

Rev	Date	Drawn	Chkd	Amendments

Rev	Date	Drawn	Chkd	Amendments

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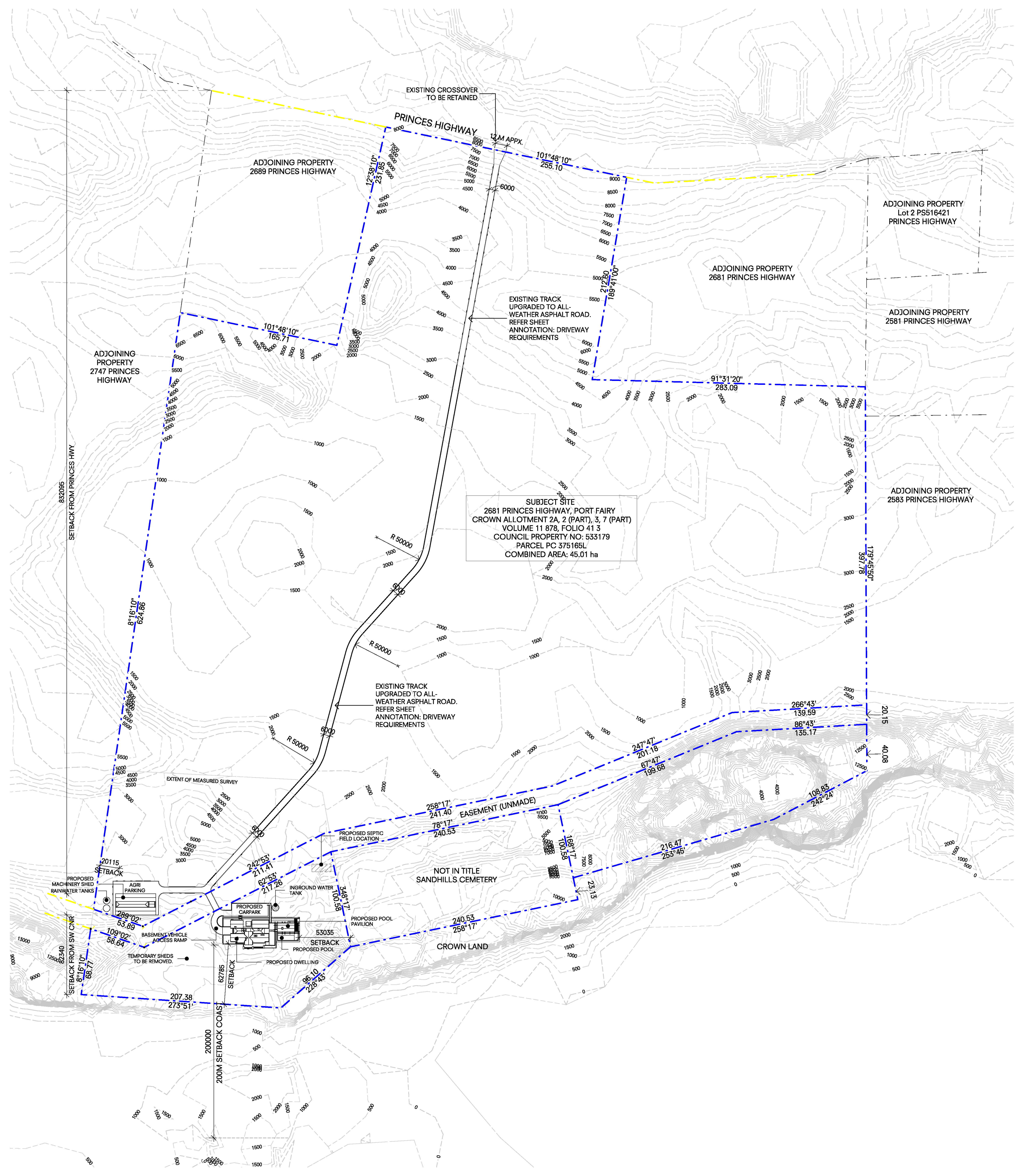
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PROJECT AND NUMBER		TITLE	
# 23006		SITE PLAN OVERALL - PROPOSED + AERIAL	
PORT FAIRY RESIDENCE		STATUS	
CLIENT		TOWN PLANNING APPLICATION	
DATE	DRAWN	SCALE	DWG NO.
20/11/2024	AM	1 : 2500@ A1	TP-02
			REV
			-

DRIVEWAY REQUIREMENTS - 2681 PRINCES HWY, PORT FAIRY:

1. PRIOR TO APPROVAL OF ANY PERMIT FOR CONSTRUCTION OF ANY DWELLINGS ON LOT, A DRIVEWAY MUST BE PROVIDED TO THE DWELLING SITE FROM A MAIN ROAD WHEREBY THE 1% AEP FLOOD DEPTH OVER THE DRIVEWAY IS LESS THAN 300MM AND THE APPLICABLE 1% AEP FLOOD HAZARD (VELOCITY x DEPTH) IS LESS THAN 0.32 m/s.
2. DRIVEWAYS MUST INCORPORATE CULVERTS OF SUFFICIENT SIZE AND QUANTITY TO MAINTAIN THE EXISTING FLOOD WATER MOVEMENT AND STORAGE CHARACTERISTICS OF THE SUBJECT LAND.
3. IT MUST BE DEMONSTRATED THAT WORKS WITHIN THE FLOODPLAIN WILL NOT INTERFERE WITH THE NATURAL FLOODING REGIMES, WILL MAINTAIN THE FREE PASSAGE AND TEMPORARY STORAGE OF FLOODWATERS, IS COMPATIBLE WITH FLOOD HAZARD AND LOCAL DRAINAGE CONDITIONS AND WILL NOT CAUSE ANY SIGNIFICANT RISE IN WATER LEVELS AND VELOCITIES. MODELING UNDERTAKEN MUST COMPLY WITH THE GLENELG HOPKINS MODELING GUIDELINES AND SPECIFICATIONS AND SURVEY MUST BE COMPLETED BY A LICENSED SURVEYOR.
4. MARKER POSTS SHALL BE INSTALLED TO IDENTIFY THE EDGES OF THE RAISED DRIVEWAY.
5. THE DRIVEWAY MUST BE AN ALL-WEATHER SURFACED ROAD WITH A MINIMUM CLEAR TRAFFICABLE WIDTH OF 3.5M AND BE SUBSTANTIALLY CLEAR OF ENCROACHMENTS FOR A MINIMUM OF 0.5M ON EACH SIDE AND CLEAR OF ENCROACHMENTS AT LEAST 4M VERTICALLY.
6. THE DRIVEWAY SHALL AVOID ANY FLOODING HAZARDS AND SHALL BE ELEVATED ACCORDINGLY - PER NOTES 1,2 AND 3 ABOVE.



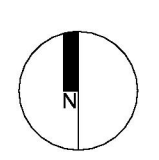
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PROJECT AND NUMBER # 23006 PORT FAIRY RESIDENCE		TITLE SITE PLAN OVERALL - PROPOSED + CONTOURS	
CLIENT [REDACTED]		STATUS TOWN PLANNING APPLICATION	
DATE 20/11/2024	DRAWN AM	SCALE 1 : 2500@ A1	DWG NO. REV TP-03 -





- DRIVEWAY REQUIREMENTS - 2681 PRINCES HWY, PORT FAIRY:
1. PRIOR TO APPROVAL OF ANY PERMIT FOR CONSTRUCTION OF ANY DWELLINGS ON LOT, A DRIVEWAY MUST BE PROVIDED TO THE DWELLING SITE FROM A MAIN ROAD WHEREBY THE 1% AEP FLOOD DEPTH OVER THE DRIVEWAY IS LESS THAN 300MM AND THE APPLICABLE 1% AEP FLOOD HAZARD (VELOCITY x DEPTH) IS LESS THAN 0.32 m/s.
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 6. THE DRIVEWAY SHALL AVOID ANY FLOODING HAZARDS AND SHALL BE ELEVATED ACCORDINGLY - PER NOTES 1,2 AND 3 ABOVE.

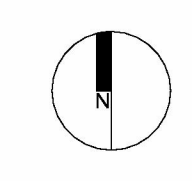
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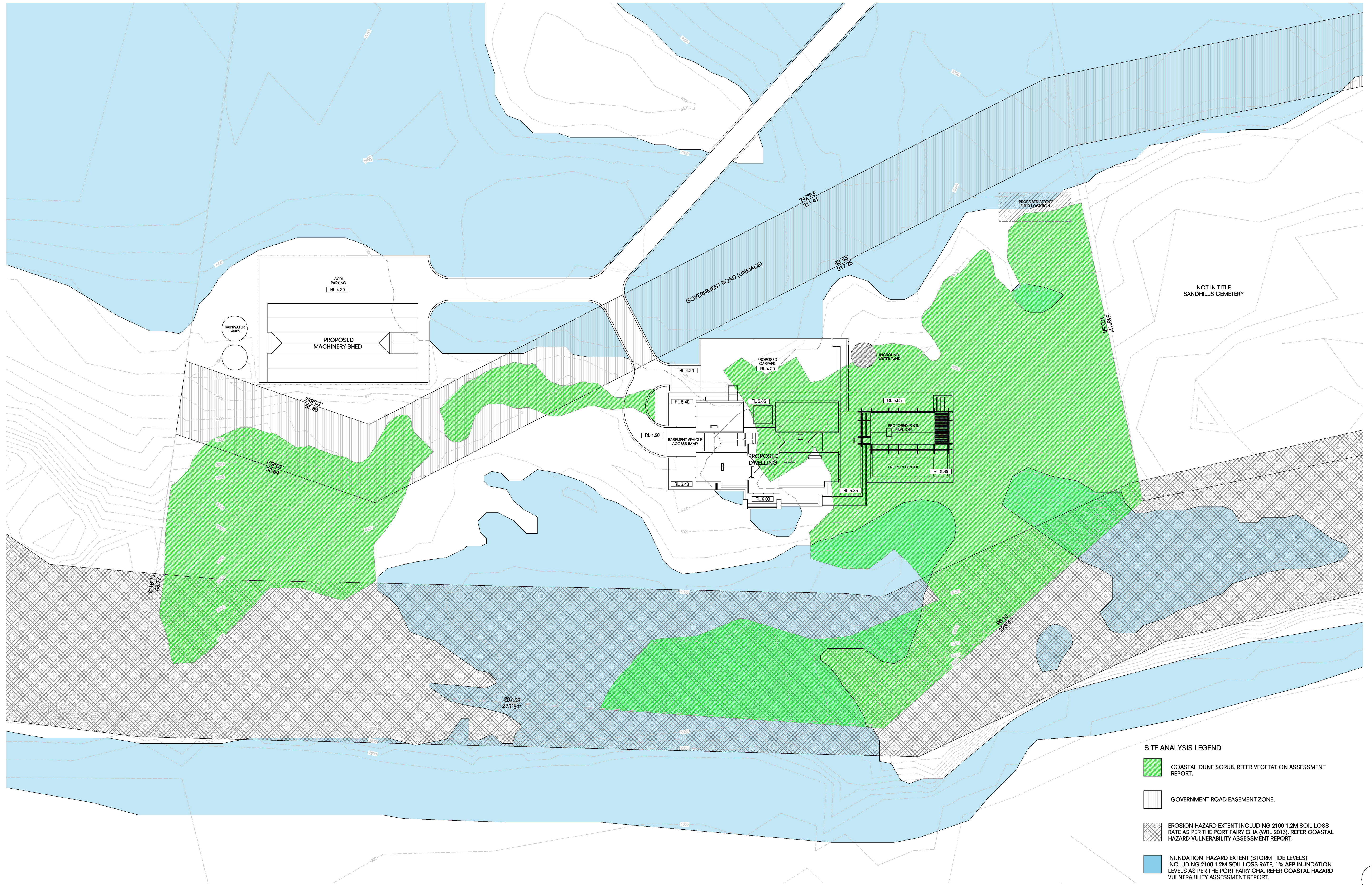
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PROJECT AND NUMBER # 23006 PORT FAIRY RESIDENCE		TITLE SITE PLAN DEVELOPMENT AREA - PROPOSED	
CLIENT [REDACTED]		STATUS TOWN PLANNING APPLICATION	
DATE 20/11/2024	DRAWN AM	SCALE 1 : 500@ A1	DWG NO. REV TP-04 -





- SITE ANALYSIS LEGEND**
- COASTAL DUNE SCRUB. REFER VEGETATION ASSESSMENT REPORT.
 - GOVERNMENT ROAD EASEMENT ZONE.
 - EROSION HAZARD EXTENT INCLUDING 2100 1.2M SOIL LOSS RATE AS PER THE PORT FAIRY CHA (WRL 2013). REFER COASTAL HAZARD VULNERABILITY ASSESSMENT REPORT.
 - INUNDATION HAZARD EXTENT (STORM TIDE LEVELS) INCLUDING 2100 1.2M SOIL LOSS RATE, 1% AEP INUNDATION LEVELS AS PER THE PORT FAIRY CHA. REFER COASTAL HAZARD VULNERABILITY ASSESSMENT REPORT.

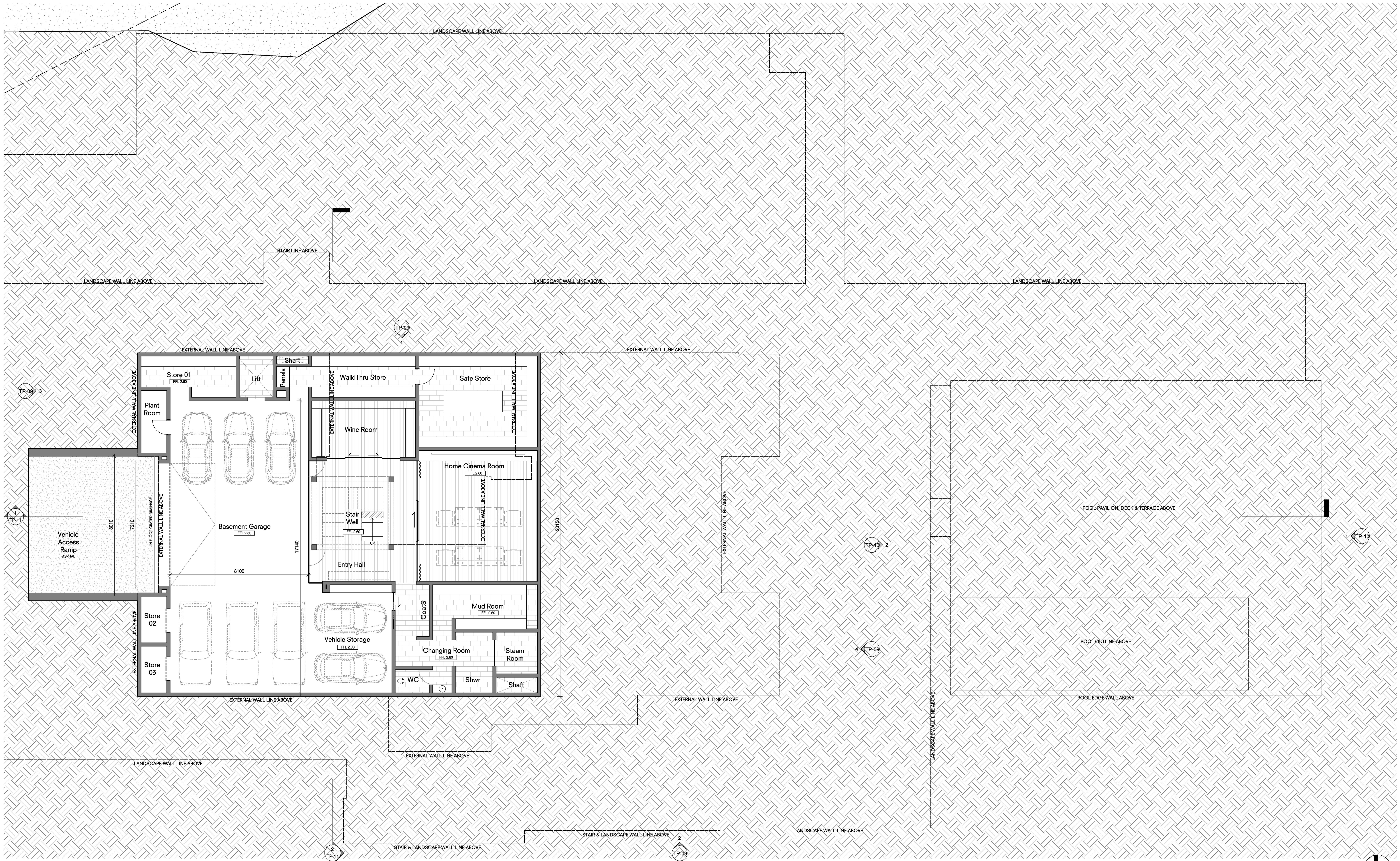
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PROJECT AND NUMBER # 23006 PORT FAIRY RESIDENCE		TITLE SITE ANALYSIS PLAN - PROPOSED	
CLIENT [REDACTED]		STATUS TOWN PLANNING APPLICATION	
DATE 20/11/2024	DRAWN AM	SCALE 1 : 500@ A1	DWG NO. REV TP-05 -



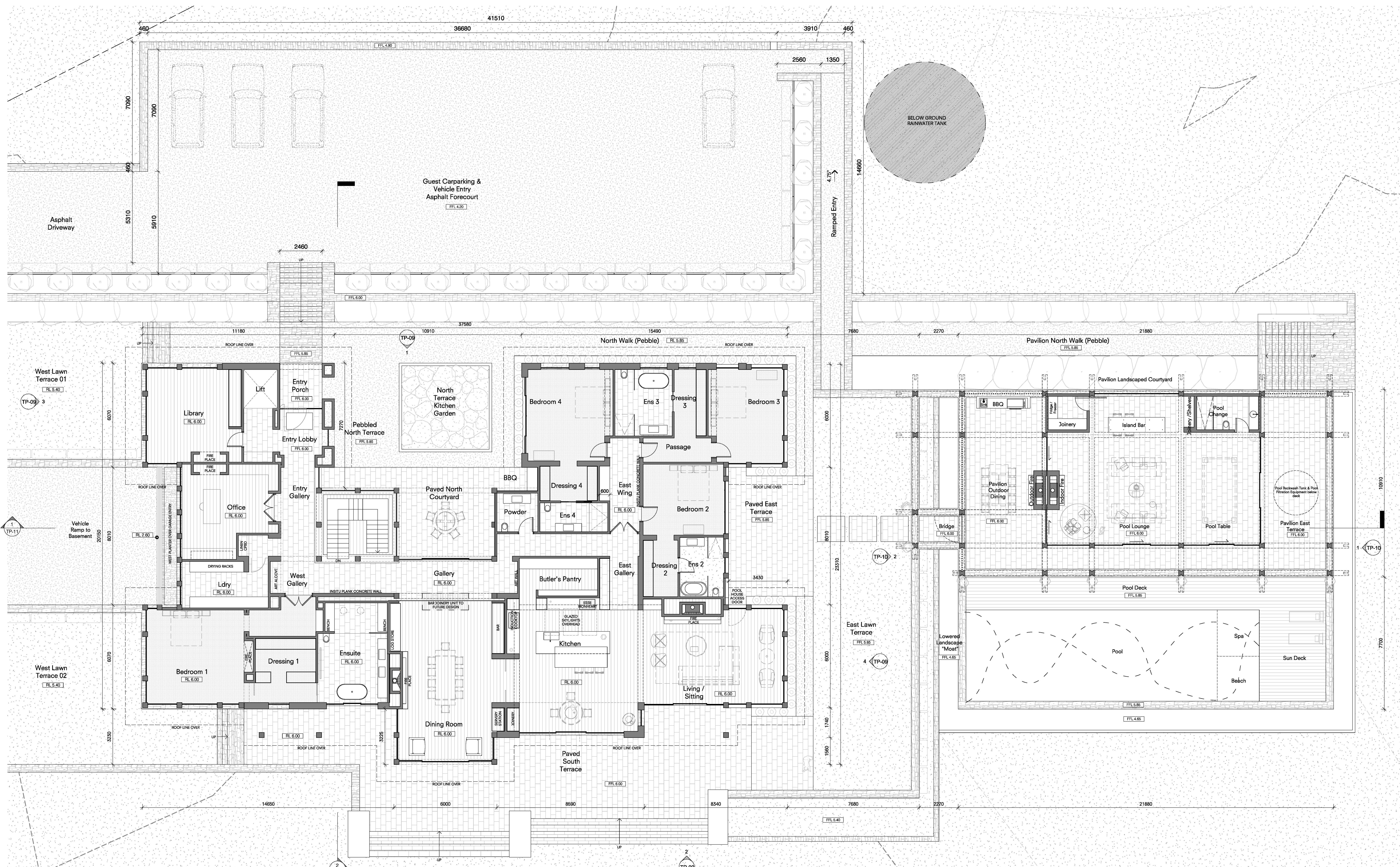
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PROJECT AND NUMBER # 23006 PORT FAIRY RESIDENCE		TITLE BASEMENT FLOOR PLAN (HOUSE) - PROPOSED	
CLIENT [REDACTED]		STATUS TOWN PLANNING APPLICATION	
DATE 20/11/2024	DRAWN AM	SCALE 1 : 100@ A1	DWG NO. REV TP-06 -



NOTE: ALL NOMINATED LEVELS ON DRAWINGS ARE DERIVED FROM AHD.

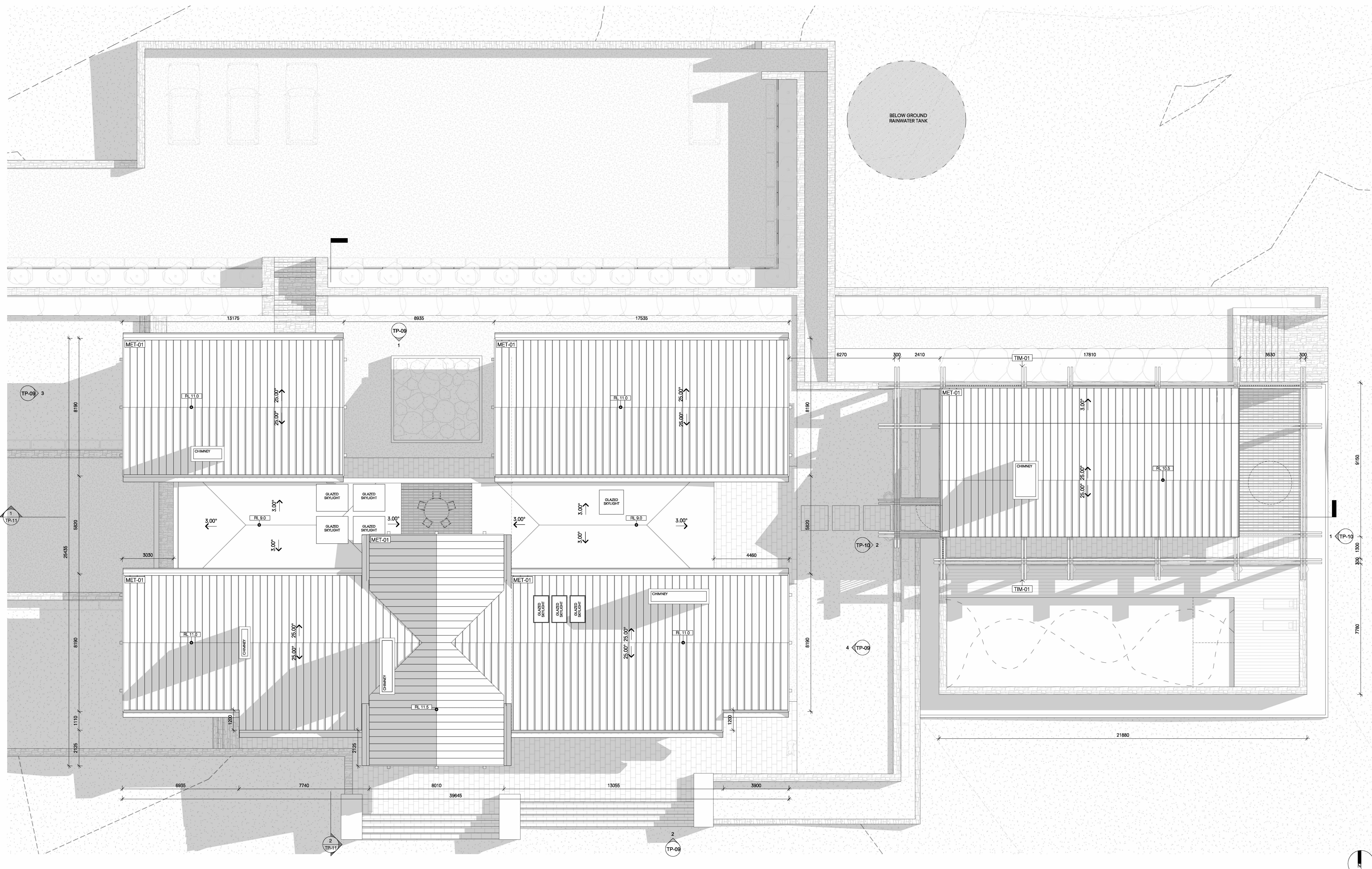
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PROJECT AND NUMBER			TITLE	
# 23006			GROUND FLOOR PLAN (HOUSE) - PROPOSED	
PORT FAIRY RESIDENCE			STATUS	
CLIENT			TOWN PLANNING APPLICATION	
DATE	DRAWN	SCALE	DWG NO.	REV
20/11/2024	AM	1:100@ A1	TP-07	-



Rev	Date	Drawn	Chkd	Amendments

Rev	Date	Drawn	Chkd	Amendments

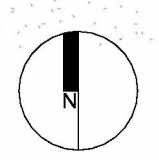
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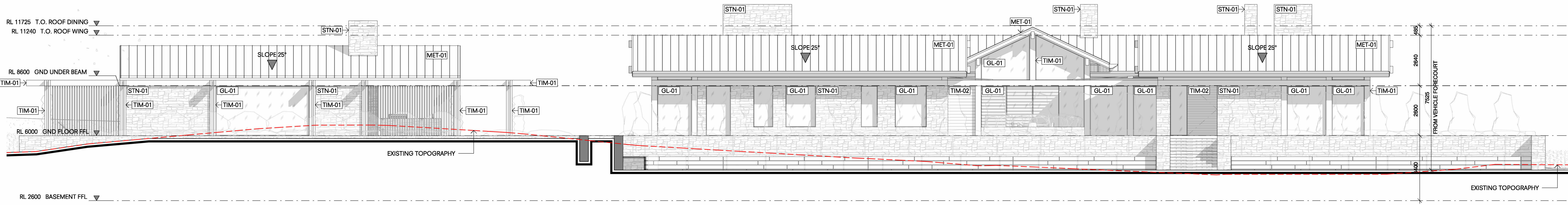
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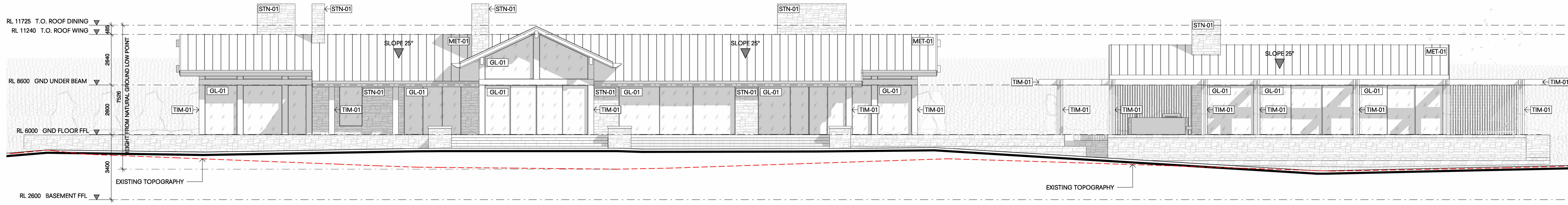
PROJECT AND NUMBER # 23006 PORT FAIRY RESIDENCE		
CLIENT [REDACTED]		
DATE 20/11/2024	DRAWN AM	SCALE 1:100@ A1

TITLE ROOF PLAN (HOUSE) - PROPOSED	
STATUS TOWN PLANNING APPLICATION	
DWG NO. TP-08	REV -

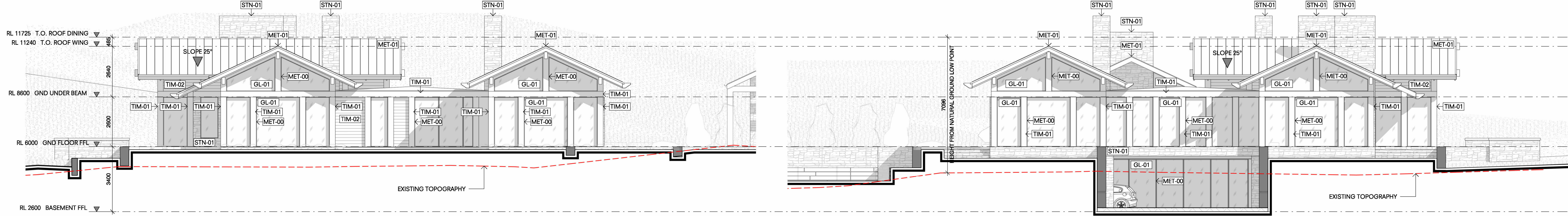




1 ELEVATION - NORTH (RESIDENCE) - PROPOSED
TP-06 SCALE 1 : 100



2 ELEVATION - SOUTH (RESIDENCE) - PROPOSED
TP-06 SCALE 1 : 100



4 ELEVATION - EAST (RESIDENCE) - PROPOSED
TP-06 SCALE 1 : 100

3 ELEVATION - WEST (RESIDENCE) - PROPOSED
SK-09 SCALE 1 : 100

EXTERNAL FINISHES

<p>ASP-01 TYPE: SEALED ASPHALT ON COMPACTED BASE COLOUR: BLACK TONE SEALED DRIVEWAY & LANDSCAPE ELEMENTS</p>	<p>CON-01 TYPE: PRECAST CONCRETE WITH FORMED STONE TEXTURE COLOUR: SUBTLE EARTHY TONE MACHINERY SHED EXTERNAL WALLS</p>	<p>MET-00 TYPE: ANODIZED OR POWDERCOAT ALUMINIUM COLOUR: BLACK TONE WINDOW FRAMES & DETAIL ACCENTS</p>	<p>MET-01 TYPE: METAL ROOFING (COLORBOND OR ZINC) PROFILE: STANDING SEAM COLOUR: BLACK OR DARK GREY VISIBLE GABLED ROOF CLADDING</p>	<p>PEB-01 TYPE: LOOSE LAID TUMBLED BASALT PEBBLES COLOUR: DARK GREY (BLUESTONE) TONES LANDSCAPE ELEMENTS</p>	<p>STN-01 TYPE: NATURAL STONE WALLING (BASALT OR GRANITE) COLOUR: SUBTLE EARTHY TONES LAY PATTERN: FREE-FORM EXTERNAL & INTERNAL STONE CLAD WALL ELEMENTS</p>	<p>STN-02 TYPE: DIAMOND SAWN BLUESTONE TILE COLOUR: DARK GREY BLUE TONES EXTERNAL STONE PAVING & LANDSCAPE ELEMENTS</p>	<p>TIM-01 TYPE: AUST. HARDWOOD POSTS & BEAMS & BATTENS COLOUR: NATURAL WEATHERED TIMBER EXPRESSED TIMBER STRUCTURAL ELEMENTS</p>	<p>TIM-02 AUSTRALIAN TIMBER LINING BOARDS (V-JOINTED) COLOUR: NATURAL WEATHERED OR STAIN TONE EXTERNAL WALL ELEMENTS & SOLID DOORS</p>

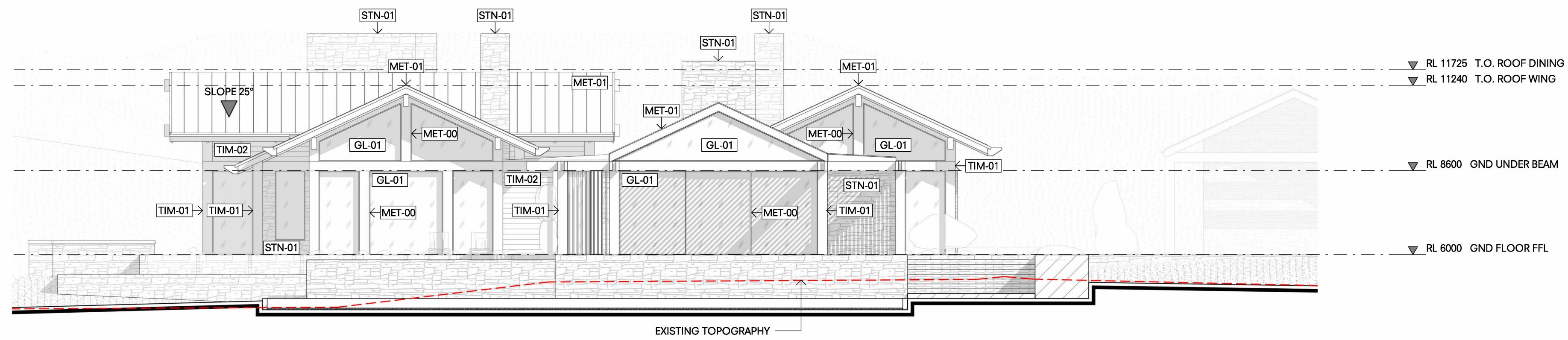
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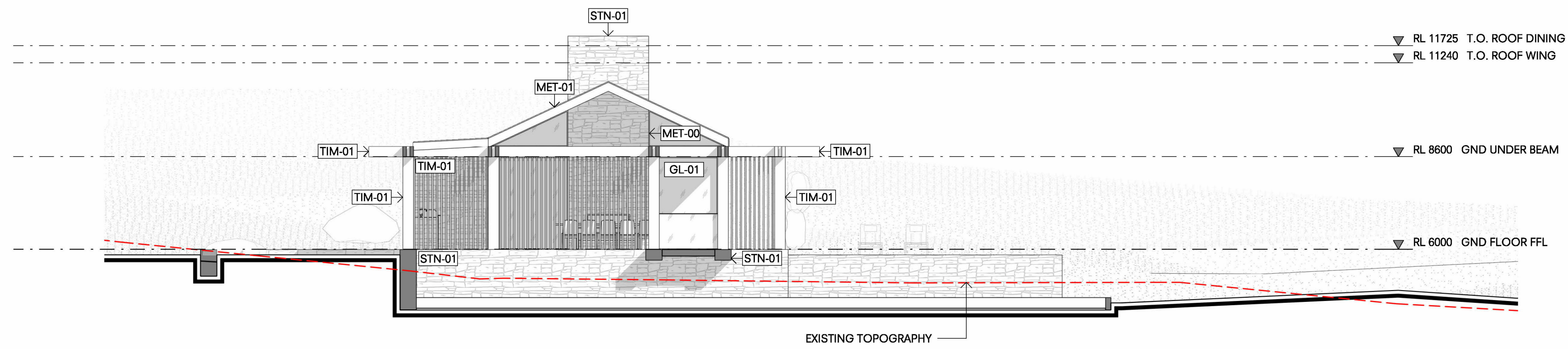
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PROJECT AND NUMBER # 23006 PORT FAIRY RESIDENCE			TITLE ELEVATIONS (HOUSE) - PROPOSED	
CLIENT [REDACTED]			STATUS TOWN PLANNING APPLICATION	
DATE 20/11/2024	DRAWN AM	SCALE 1 : 100B A1	DWG NO. TP-09	REV -

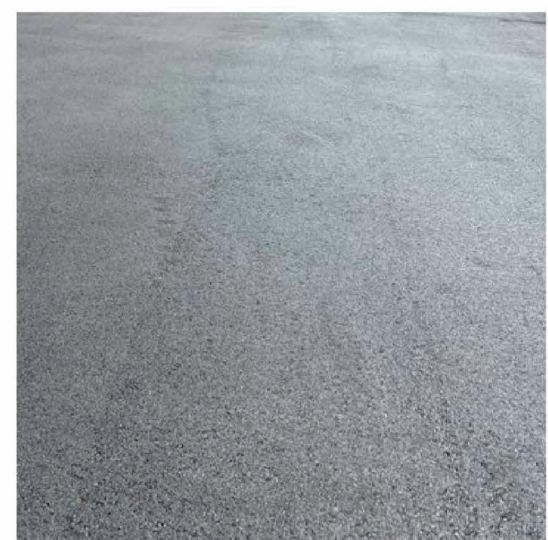


1 ELEVATION - EAST (POOL HOUSE) - PROPOSED
TP-06 / SCALE 1 : 100



2 ELEVATION - WEST (POOL HOUSE) - PROPOSED
TP-06 / SCALE 1 : 100

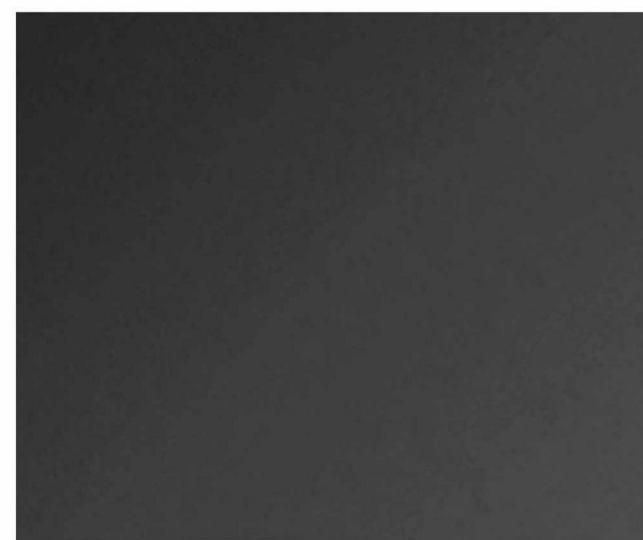
EXTERNAL FINISHES



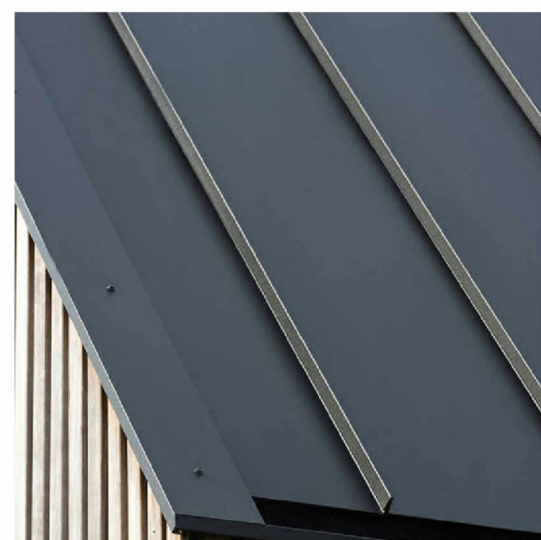
ASP-01
TYPE: SEALED ASPHALT ON COMPACTED BASE
COLOUR: BLACK TONE
SEALED DRIVEWAY & LANDSCAPE ELEMENTS



CON-01
TYPE: PRECAST CONCRETE WITH FORMED STONE TEXTURE
COLOUR: SUBTLE EARTHY TONE
MACHINERY SHED EXTERNAL WALLS



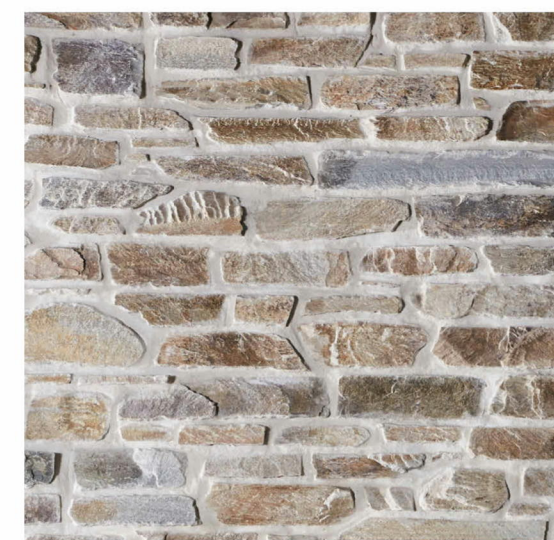
MET-00
TYPE: ANODIZED OR POWDERCOAT ALUMINIUM
COLOUR: BLACK TONE
WINDOW FRAMES & DETAIL ACCENTS



MET-01
TYPE: METAL ROOFING (COLORBOND OR ZINC)
PROFILE: STANDING SEAM | COLOUR: BLACK OR DARK GREY
VISIBLE GABLED ROOF CLADDING



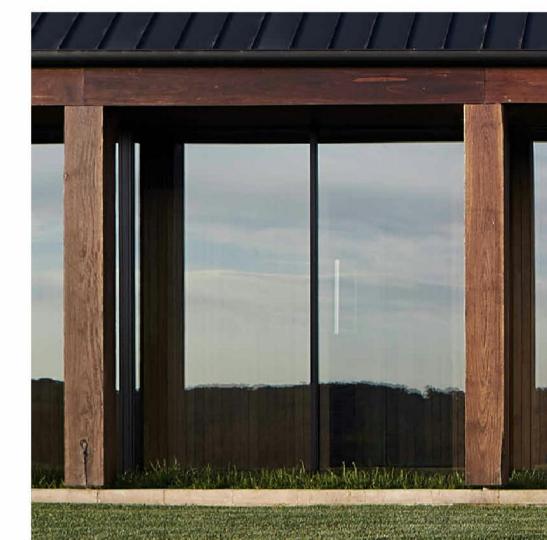
PEB-01
TYPE: LOOSE LAID TUMBLED BASALT PEBBLES
COLOUR: DARK GREY (BLUESTONE) TONES
LANDSCAPE ELEMENTS



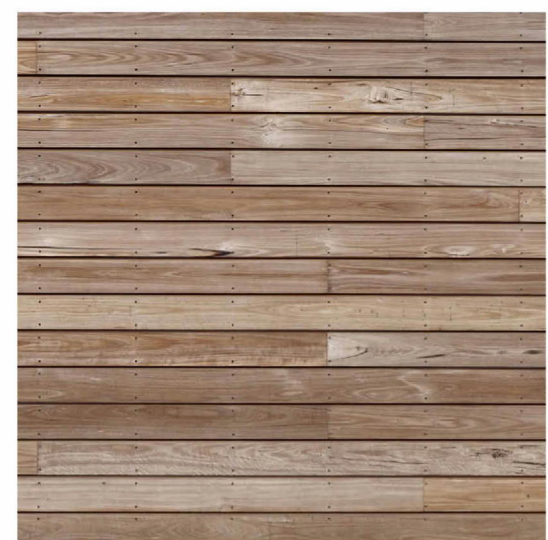
STN-01
TYPE: NATURAL STONE WALLING (BASALT OR GRANITE)
COLOUR: SUBTLE EARTHY TONES | LAY PATTERN: FREE-FORM
EXTERNAL & INTERNAL STONE CLAD WALL ELEMENTS



STN-02
TYPE: DIAMOND SAWN BLUESTONE TILE
COLOUR: DARK GREY BLUE TONES
EXTERNAL STONE PAVING & LANDSCAPE ELEMENTS



TIM-01
TYPE: AUSTRALIAN TIMBER LINING BOARDS (V-JOINTED)
COLOUR: NATURAL WEATHERED TIMBER
EXPRESSED TIMBER STRUCTURAL ELEMENTS



TIM-02
AUSTRALIAN TIMBER LINING BOARDS (V-JOINTED)
COLOUR: NATURAL WEATHERED OR STAIN TONE
EXTERNAL WALL ELEMENTS & SOLID DOORS

Rev	Date	Drawn	Chkd	Amendments

Rev	Date	Drawn	Chkd	Amendments

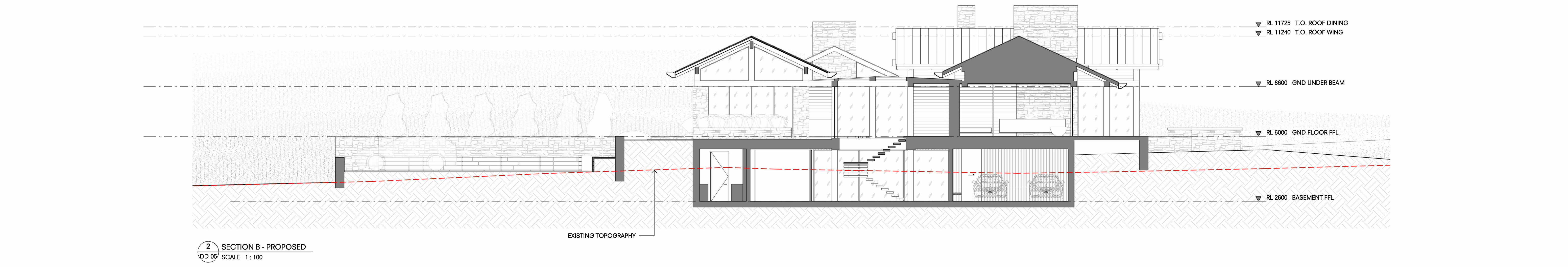
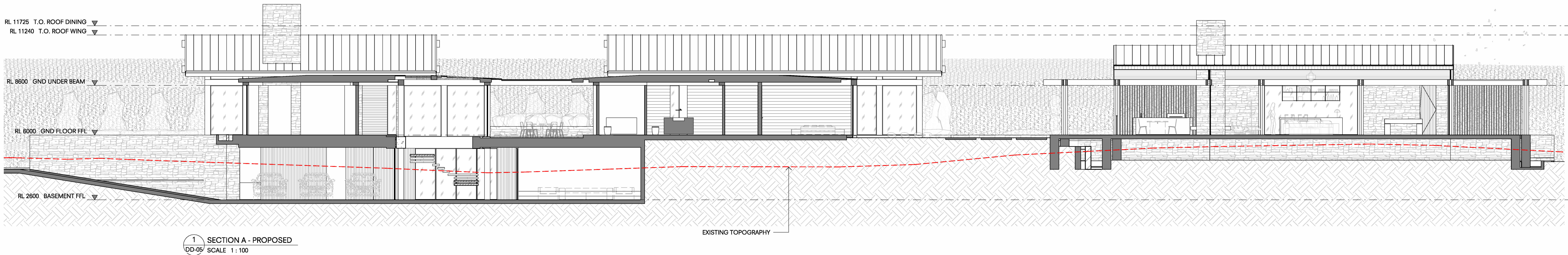
Builders / Contractors shall verify all dimensions before any work commences. Dimensions shown are nominal. Figured dimensions shall take precedence over scaled dimensions. Any discrepancies are to be made known to the architect's / designer's office prior to any works commencing on site. All shop drawings shall be submitted for review and manufacture shall not commence prior to the return of unamended shop drawings.

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PROJECT AND NUMBER # 23006 PORT FAIRY RESIDENCE		
CLIENT [REDACTED]		
DATE 20/11/2024	DRAWN AM	SCALE 1 : 100@ A1

TITLE ELEVATIONS (POOL HOUSE) - PROPOSED	
STATUS TOWN PLANNING APPLICATION	
DWG NO. TP-10	REV -



Rev	Date	Drawn	Chkd	Amendments

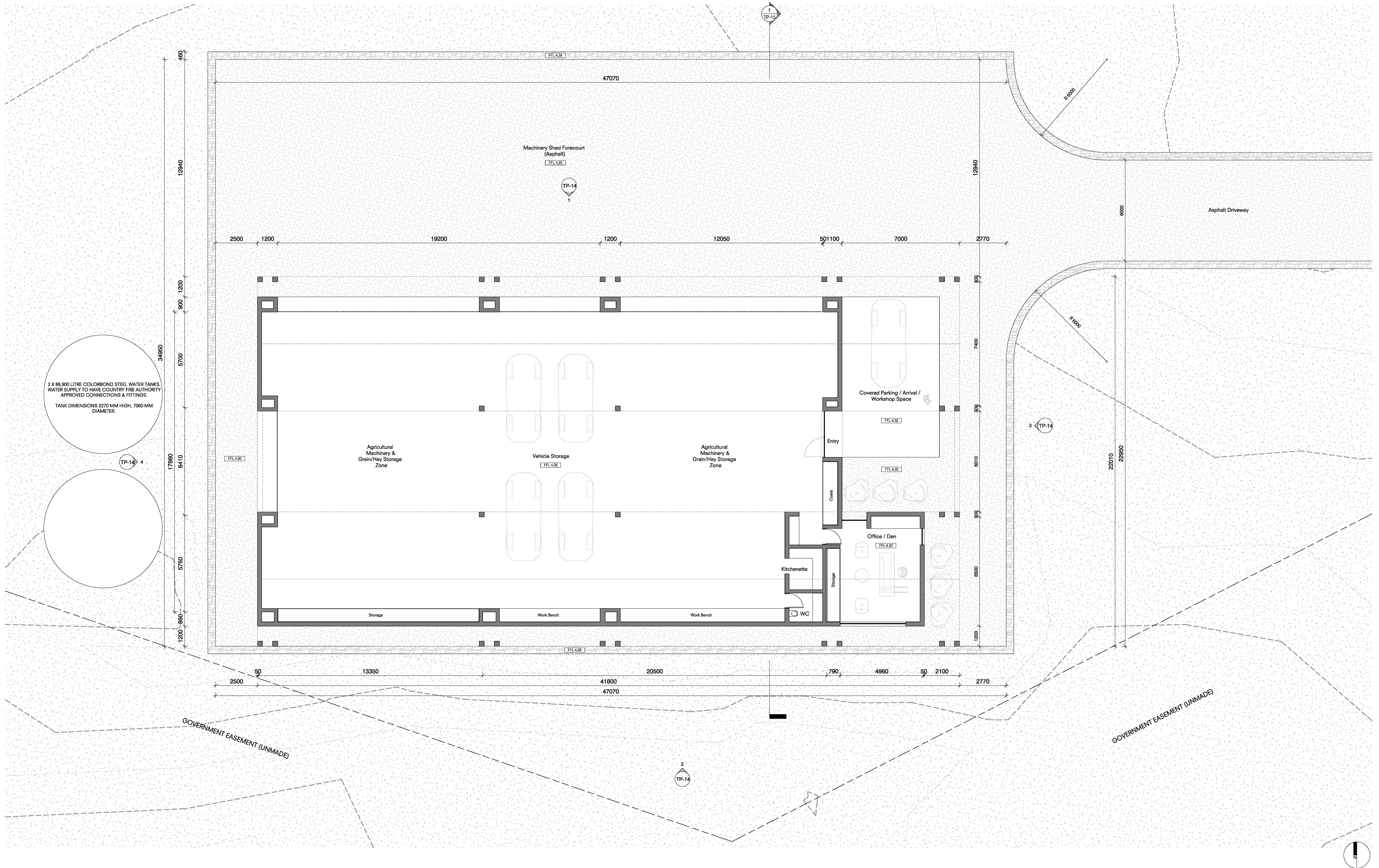
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CLIENT [REDACTED]		
DATE 20/11/2024	DRAWN AM	SCALE 1:100B A1

TITLE SECTIONS (HOUSE) - PROPOSED	
STATUS TOWN PLANNING APPLICATION	
DWG NO. TP-11	REV -



2 X 88,900 LITRE COLORBOND STEEL WATER TANKS,
WATER SUPPLY TO HAVE COUNTRY FIRE AUTHORITY
APPROVED CONNECTIONS & FITTINGS.
TANK DIMENSIONS 2270 MM HIGH, 7060 MM
DIAMETER.

Rev	Date	Drawn	Chkd	Amendments

Rev	Date	Drawn	Chkd	Amendments

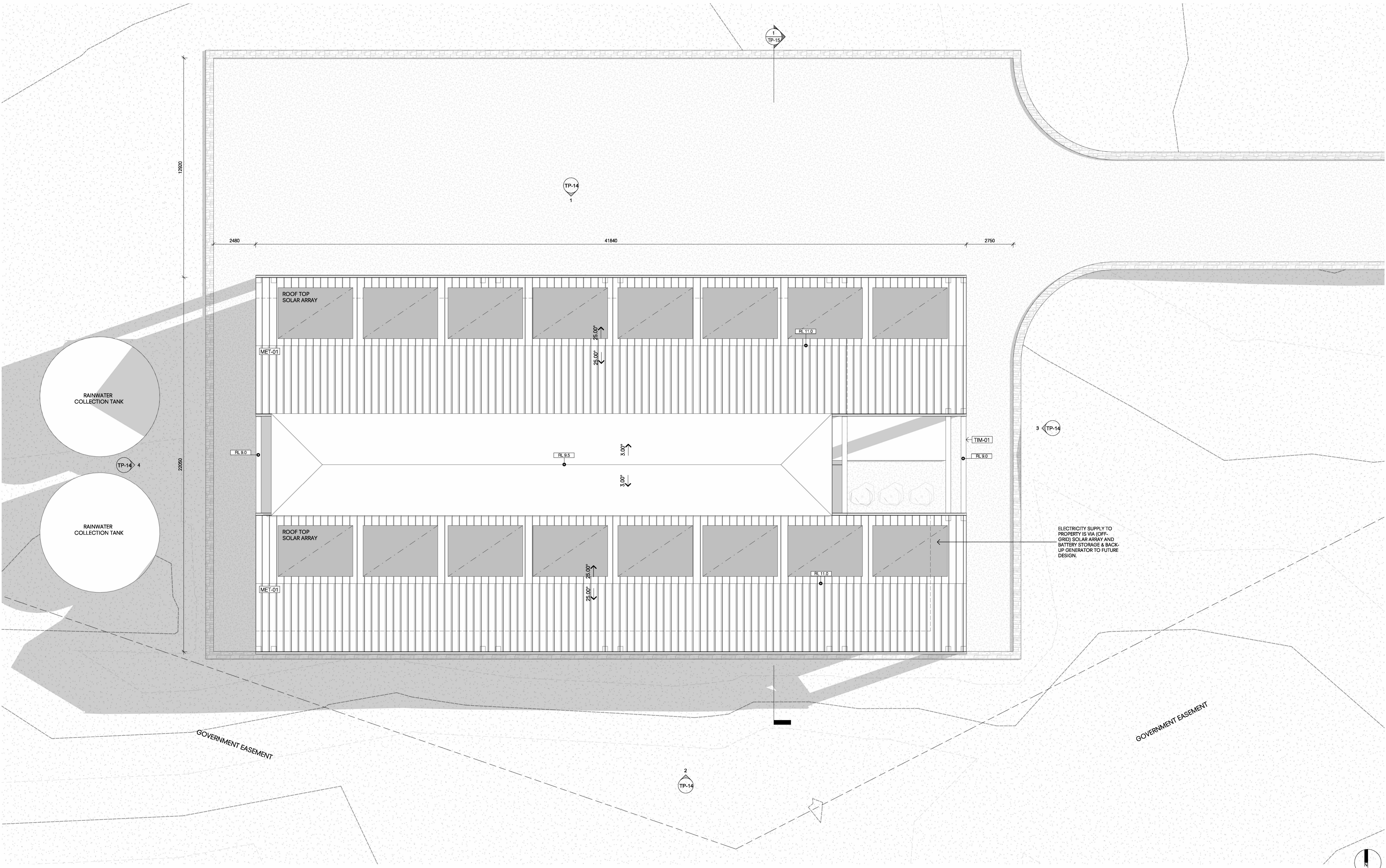
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PROJECT AND NUMBER # 23006 PORT FAIRY RESIDENCE		
CLIENT [REDACTED]		
DATE 20/11/2024	DRAWN AM	SCALE 1:100@ A1

TITLE GROUND FLOOR PLAN (MACHINERY SHED) - PROPOSED	
STATUS TOWN PLANNING APPLICATION	
DWG NO. TP-12	REV -



Rev	Date	Drawn	Chkd	Amendments

Rev	Date	Drawn	Chkd	Amendments

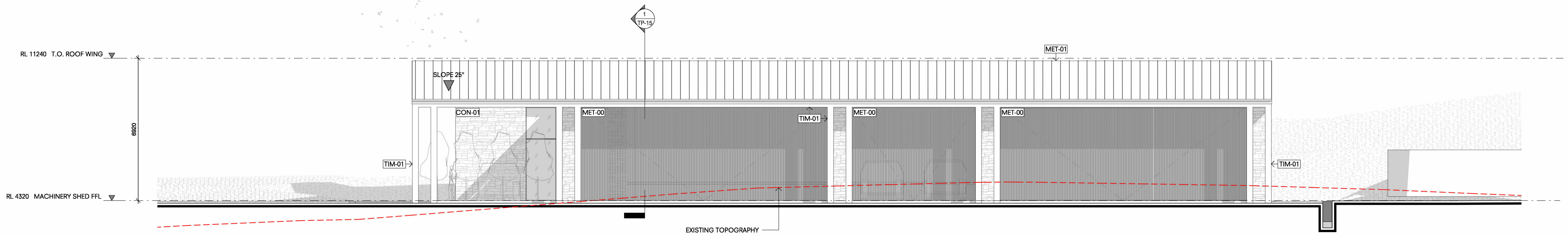
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ABE MCCARTHY ARCHITECTS

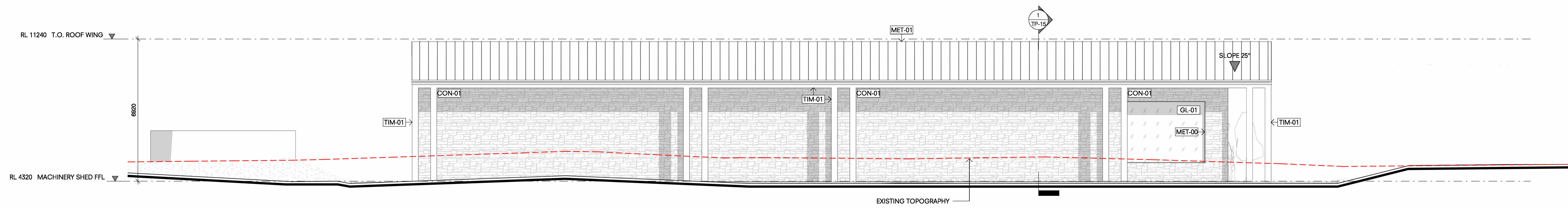
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PROJECT AND NUMBER # 23006 PORT FAIRY RESIDENCE		
CLIENT [REDACTED]		
DATE 20/11/2024	DRAWN AM	SCALE 1 : 100@ A1

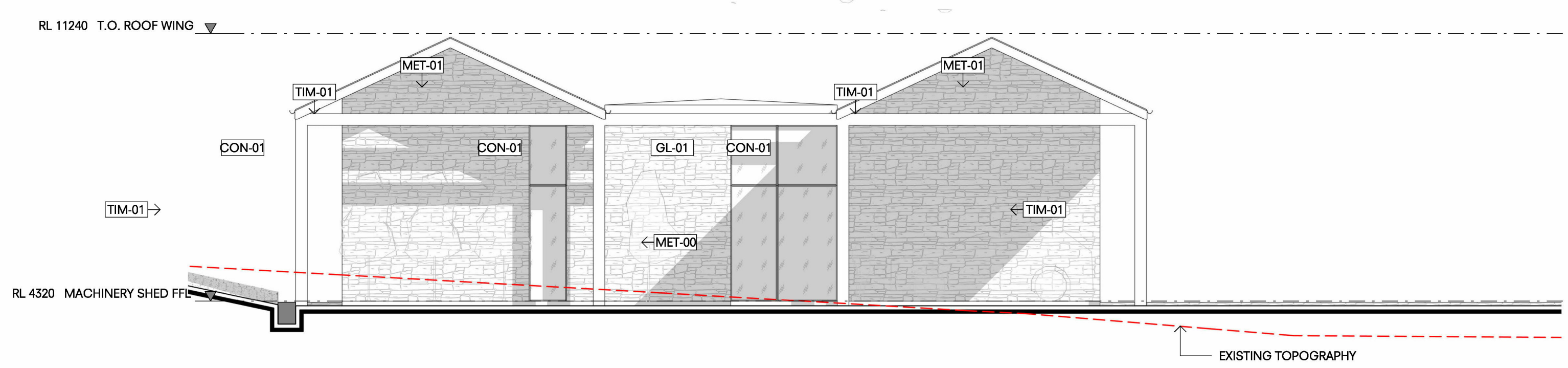
TITLE ROOF PLAN (MACHINERY SHED) - PROPOSED	
STATUS TOWN PLANNING APPLICATION	
DWG NO. TP-13	REV -



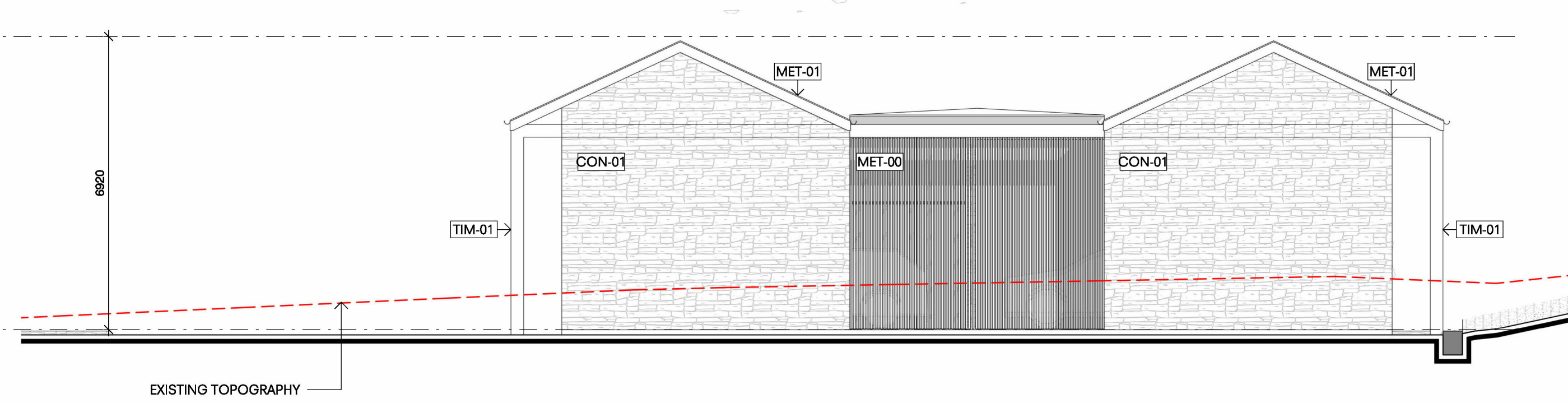
1 ELEVATION - NORTH (MACHINERY SHED) - PROPOSED
SK-20/ SCALE 1 : 100



2 ELEVATION - SOUTH (MACHINERY SHED) - PROPOSED
SK-20/ SCALE 1 : 100



3 ELEVATION - EAST (MACHINERY SHED) - PROPOSED
SK-20/ SCALE 1 : 100



4 ELEVATION - WEST (MACHINERY SHED) - PROPOSED
SK-20/ SCALE 1 : 100

EXTERNAL FINISHES



ASP-01 TYPE: SEALED ASPHALT ON COMPACTED BASE COLOUR: BLACK TONE SEALED DRIVEWAY & LANDSCAPE ELEMENTS
 CON-01 TYPE: PRECAST CONCRETE WITH FORMED STONE TEXTURE COLOUR: SUBTLE EARTHY TONE MACHINERY SHED EXTERNAL WALLS
 MET-00 TYPE: ANODIZED OR POWDERCOAT ALUMINIUM COLOUR: BLACK TONE WINDOW FRAMES & DETAIL ACCENTS
 MET-01 TYPE: METAL ROOFING (COLORBOND OR ZINC) PROFILE: STANDING SEAM | COLOUR: BLACK OR DARK GREY VISIBLE GABLED ROOF CLADDING
 PEB-01 TYPE: LOOSE LAID TUMBLED BASALT PEBBLES COLOUR: DARK GREY (BLUESTONE) TONES LANDSCAPE ELEMENTS
 STN-01 TYPE: NATURAL STONE WALLING (BASALT OR GRANITE) COLOUR: SUBTLE EARTHY TONES | LAY PATTERN: FREE-FORM EXTERNAL & INTERNAL STONE CLAD WALL ELEMENTS
 STN-02 TYPE: DIAMOND SAWN BLUESTONE TILE COLOUR: DARK GREY BLUE TONES EXTERNAL STONE PAVING & LANDSCAPE ELEMENTS
 TIM-01 TYPE: AUST. HARDWOOD POSTS & BEAMS & BATTENS COLOUR: NATURAL WEATHERED TIMBER EXPRESSED TIMBER STRUCTURAL ELEMENTS
 TIM-02 AUSTRALIAN TIMBER LINING BOARDS (V-JOINTED) COLOUR: NATURAL WEATHERED OR STAIN TONE EXTERNAL WALL ELEMENTS & SOLID DOORS

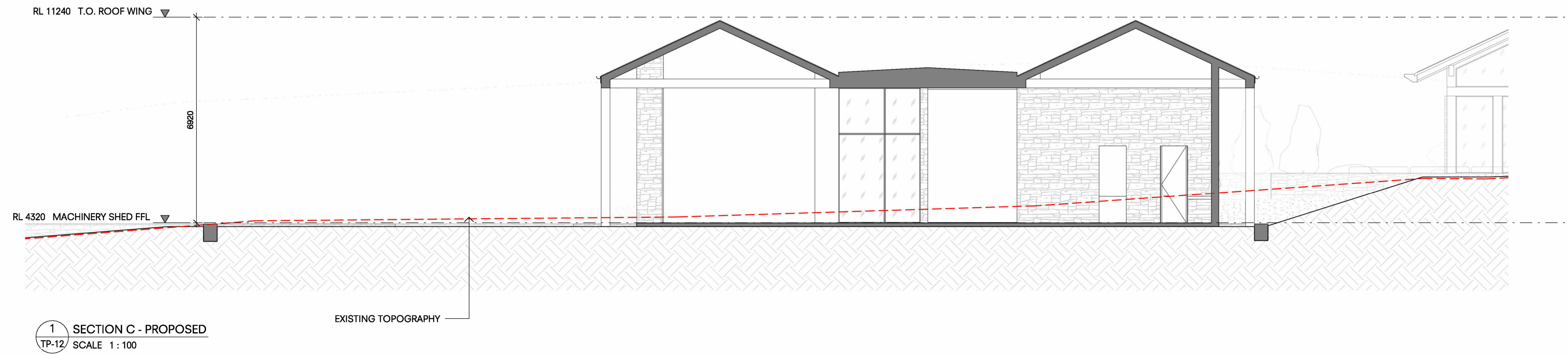
Rev	Date	Drawn	Chkd	Amendments

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PROJECT AND NUMBER # 23006 PORT FAIRY RESIDENCE	TITLE ELEVATIONS (MACHINERY SHED) - PROPOSED
CLIENT [REDACTED]	STATUS TOWN PLANNING APPLICATION
DATE 20/11/2024	DRAWN AM
SCALE 1 : 100B A1	DWG NO. TP-14
	REV -



1 SECTION C - PROPOSED
TP-12 SCALE 1 : 100

Rev	Date	Drawn	Chkd	Amendments

Rev	Date	Drawn	Chkd	Amendments

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PROJECT AND NUMBER # 23006 PORT FAIRY RESIDENCE		
CLIENT [REDACTED]		
DATE 20/11/2024	DRAWN AM	SCALE 1 : 100@ A1

TITLE SECTIONS (MACHINERY SHED) - PROPOSED	
STATUS TOWN PLANNING APPLICATION	
DWG NO. TP-15	REV -