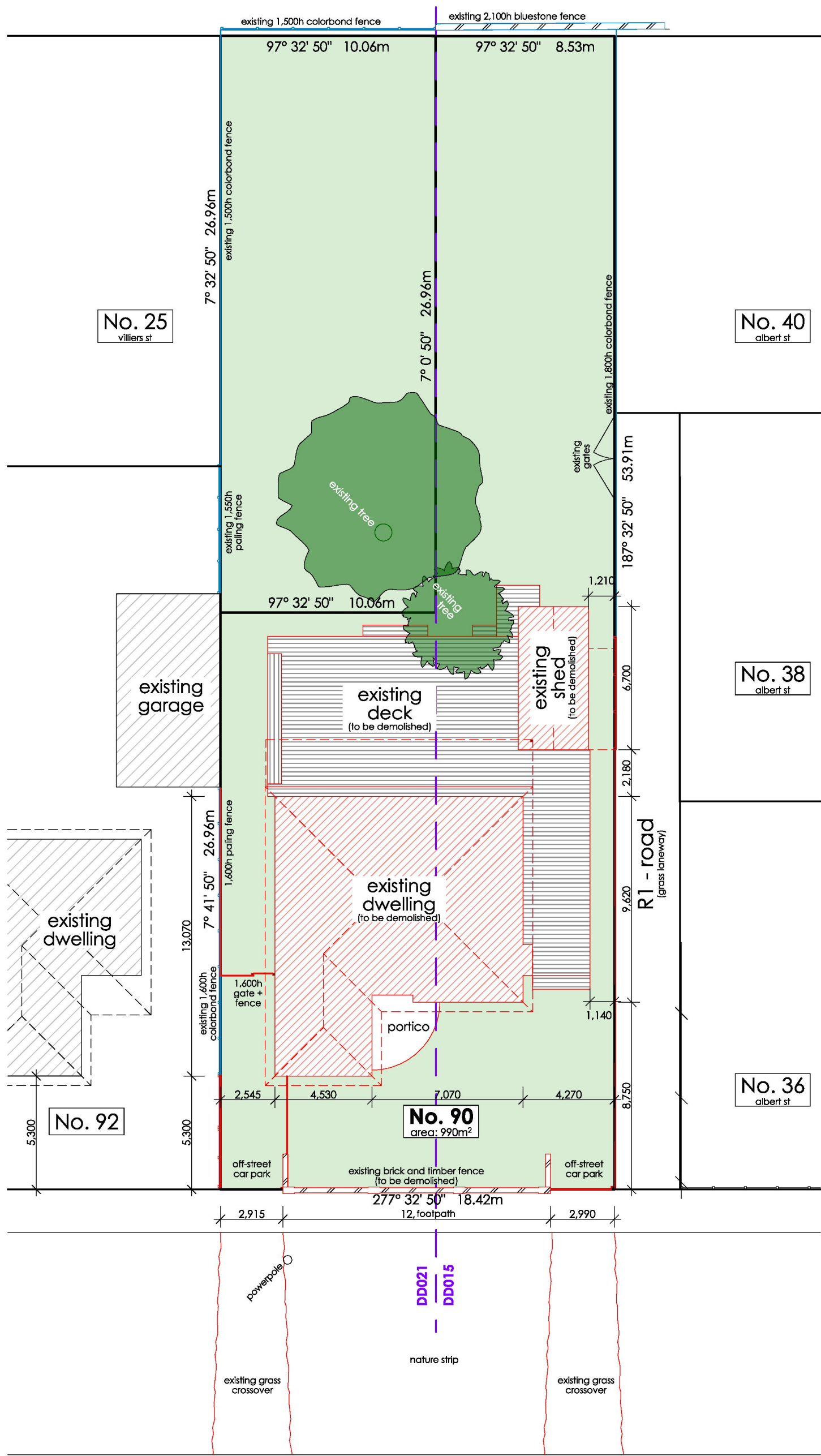


**ALL SPATIAL**  
 ACN 638 884 518  
 PO Box 403, Chadstone Centre, VIC 3148  
 www.allspatial.com.au office@allspatial.com.au

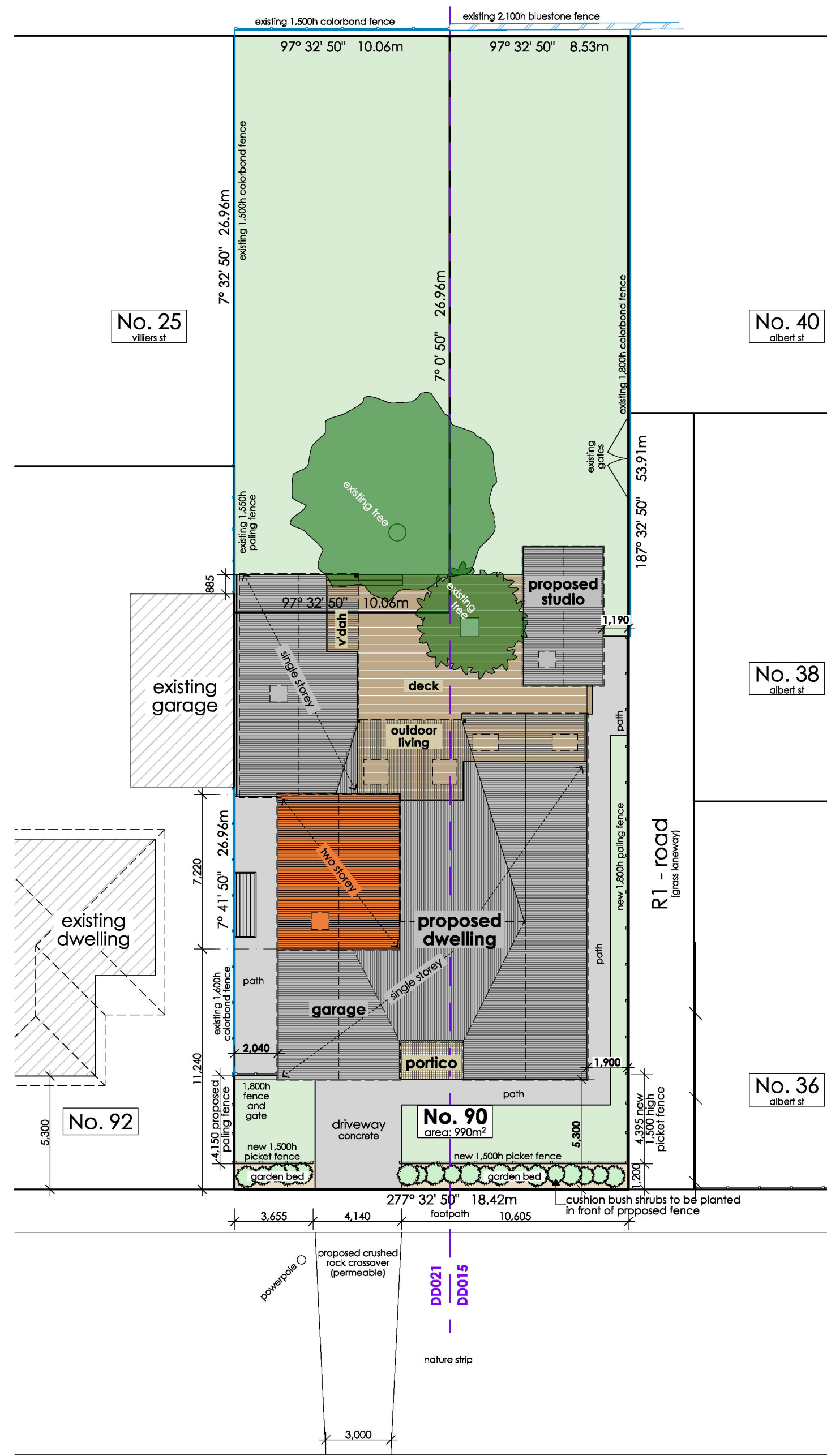
REF: 24209  
 DRAWING: W24209-PSURV-A  
 DATE: 02/09/2024  
 VERSION: A

NOTATIONS	
<ul style="list-style-type: none"> <li>● FENCING AND SURVEY CONNECTIONS ARE NOT SHOWN TO SCALE.</li> <li>● BOUNDARIES ARE NOT FENCED UNLESS OTHERWISE SHOWN.</li> <li>● THIS SURVEY RE-ESTABLISHES VOL 6934 FOL 719 &amp; VOL 10771 FOL 437 IN ACCORDANCE WITH TITLE DIMENSIONS, AND DOES NOT ATTEMPT TO DETERMINE POSSESSORY RIGHTS OVER THE LAND BETWEEN THE TITLE BOUNDARIES AND FENCING. ANY QUERIES IN THIS REGARD SHOULD BE DIRECTED TO THE LICENSED SURVEYOR.</li> </ul>	
<b>PROPERTY ADDRESS</b> 90 BANK STREET, PORT FAIRY VIC 3284	
<b>CERTIFICATION BY SURVEYOR</b>	
I, ROGER BRUCE BLAKEMAN of Suite 316, 19 Milton Parade, Mlvern, 3144 certify that this plan has been prepared from a survey made under my direction and supervision in accordance with the Surveying Act 2004 and completed on 29/08/2024, that this plan is accurate and correctly represents the adopted boundaries and that the survey accuracy accords with that required by regulation 7(1) of the Surveying (Cadastral Surveys) Regulations 2015.	
Date: 02/09/2024	 Licensed Surveyor Surveying Act 2004.
TO BE COMPLETED WHERE APPLICABLE THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARK ---- IN PROCLAIMED SURVEY AREA No. 6	
THE LAND IN THE SURVEY IS SHOWN ENCLOSED BY CONTINUOUS THICK LINES TITLE REF: VOL 6934 FOL 719 & VOL10771 FOL 437 LAST PLAN REF: LP14989 (LOT 1)	
<b>PLAN OF SURVEY</b>	
COUNTY OF VILLIERS PARISH OF BELFAST PART OF ATKINSON'S CROWN SPECIAL SURVEY	
NUMBER OF SHEETS IN PLAN : 1 NUMBER OF THIS SHEET : 1	
<b>SCALE</b>  LENGTHS ARE IN METRES	ORIGINAL SCALE SHEET SIZE 1:250 A3
<b>OFFICE USE ONLY</b>  VICTORIA	





existing site plan  
scale 1:200



proposed site plan  
scale 1:200



92 Bank St



side boundary of 36 Albert St viewing to subject site



front view of subject site



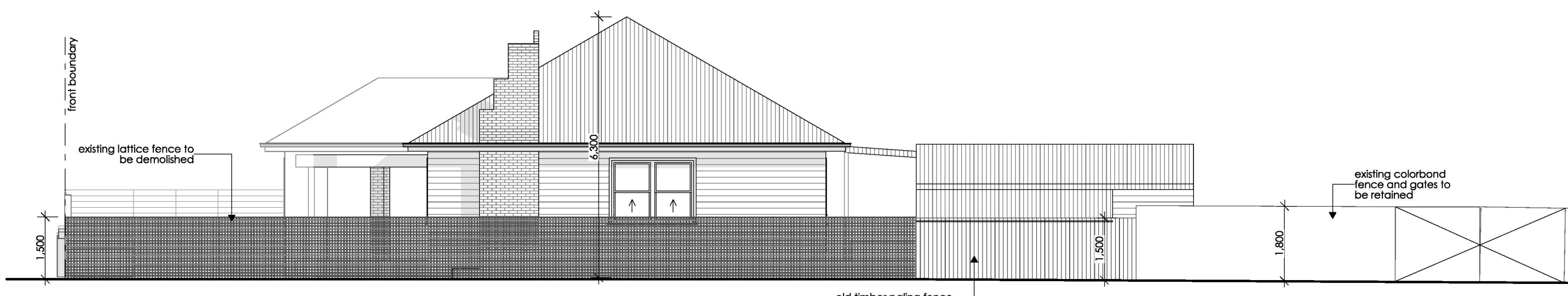
view of laneway facing north



front yard of subject site



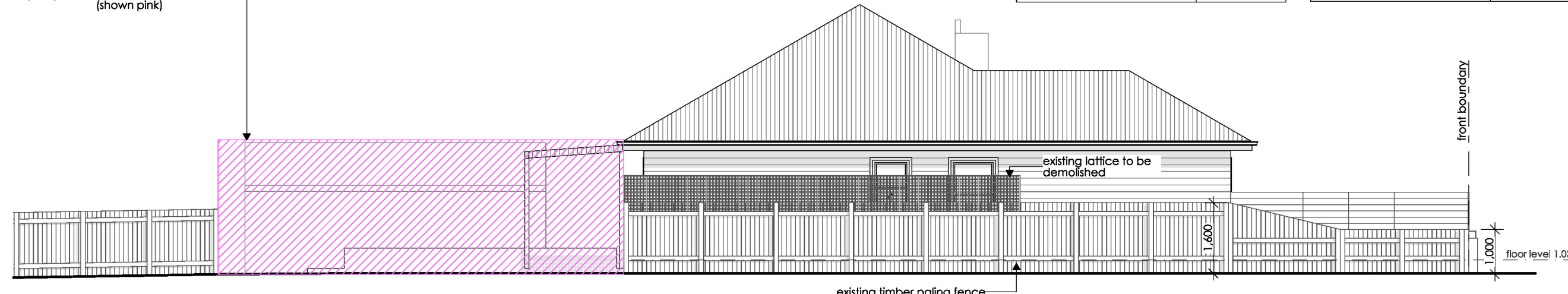
north facade of existing dwelling on subject site



existing east elevation  
scale 1:100

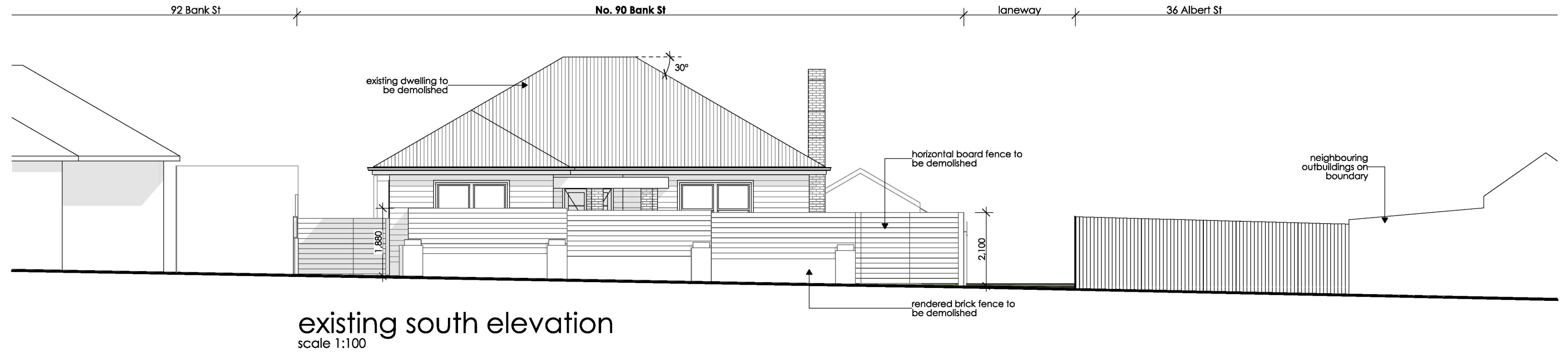


existing north elevation  
scale 1:100



existing west elevation  
scale 1:100

existing areas		site coverage	
existing dwelling	127.22	ground floor	213.33
existing deck	89.07	deck	55.86
existing verandah	31.77	garage	34.53
existing shed	22.04	outdoor living	30.85
existing portico	8.58	studio	24.13
	<b>278.68 m<sup>2</sup></b>	portico	5.39
proposed areas		verandah	5.10
ground floor	213.33		<b>369.19 m<sup>2</sup></b>
deck	55.86	hard surface area	
first floor	40.94	ground floor	213.33
garage	34.53	paths	61.26
outdoor living	30.85	garage	34.53
studio	24.13	studio	24.13
portico	5.39	studio	24.13
verandah	5.10	driveway	20.61
	<b>410.13 m<sup>2</sup></b>		<b>353.84 m<sup>2</sup></b>

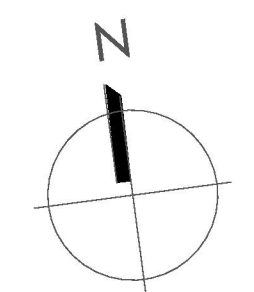


existing south elevation  
scale 1:100

- General Notes
- The Builder shall check all dimensions and levels on site prior to construction.
  - Notify any errors, discrepancies or omissions to the Building Designer.
  - Drawings shall not be used for construction purposes until issued for construction.
  - All works must be executed in a workman like manner and all materials must conform to current Australian Standard codes.
  - These plans are to be read in conjunction with project specifications, relevant reports, engineering and soil testing where indicated.
  - Written dimensions take precedence over scaled dimensions.

rev	description	rev date	checked

NOT FOR CONSTRUCTION



SITE ADDRESS:  
90 BANK STREET PORT FAIRY 3284

PROJECT:  
PROPOSED RESIDENCE

DESIGNED BY:  
DONNA MONAGHAN

DRAWN BY:  
DONNA & SHARON

ISSUE:  
PLANNING APPLICATION

ISSUE DATE:  
17/09/2024

SHEET SIZE:  
A1

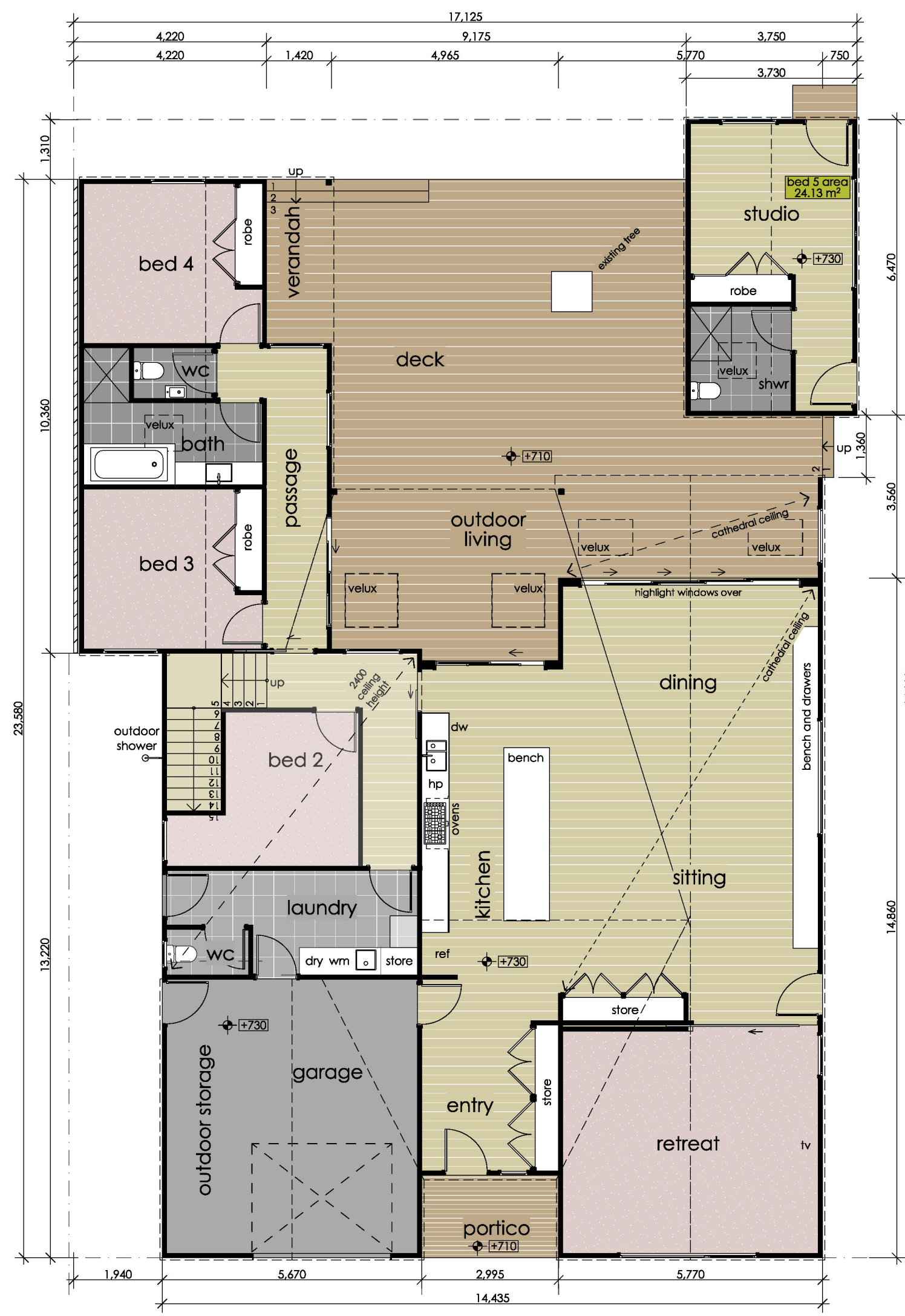
PROJECT NO.  
23018

DRAWING NO.  
1 / 2

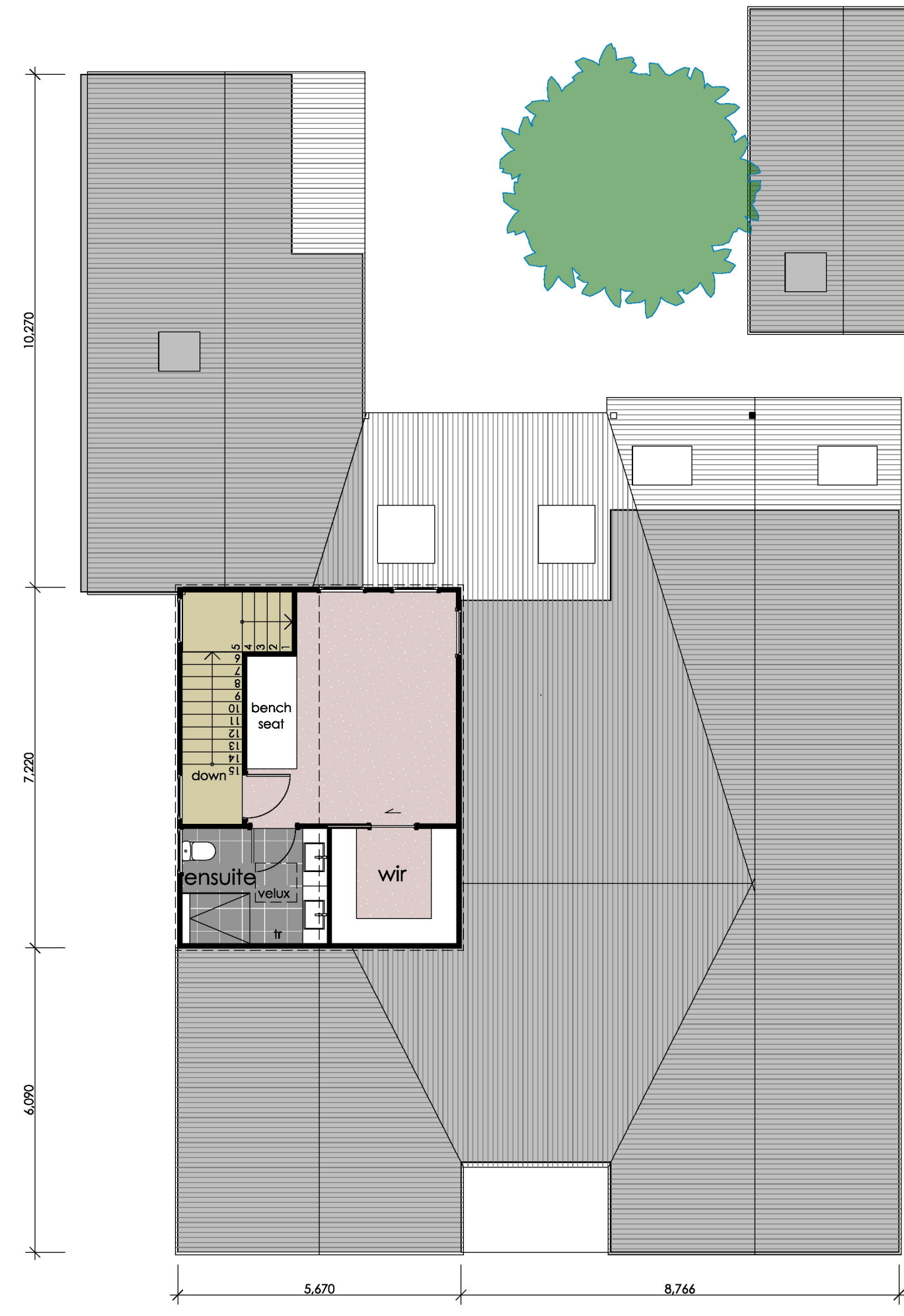
Address: 853 Raglan Parade, Warrambond VIC 3280  
Tel: 03 5681 1099  
On Line: info@formandfunction.net.au  
A/B & B/P: 88 330 502 484  
Form & Function Building Design







proposed floor plan  
scale 1:100



proposed first floor  
scale 1:100



general axonometric view



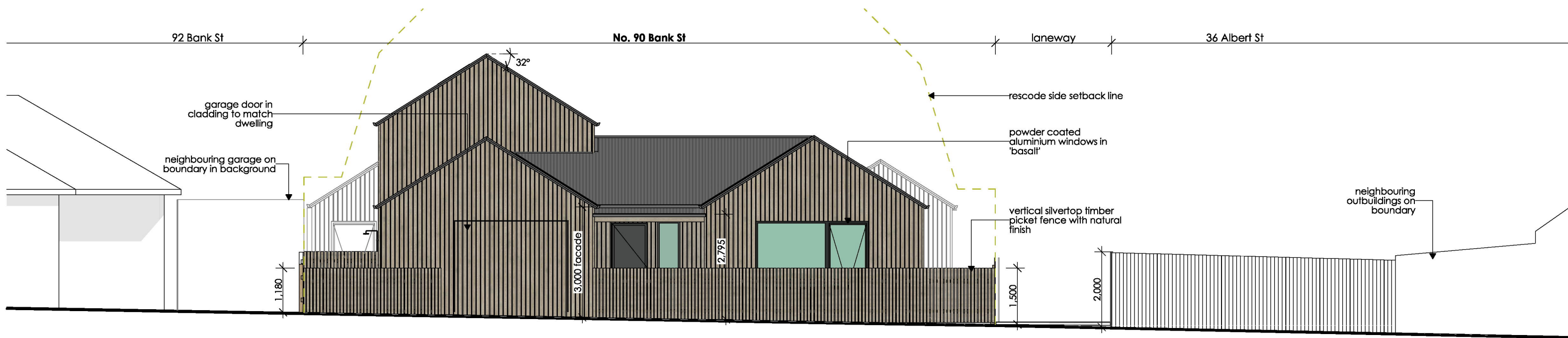
streetscape view



street view from west



laneway view



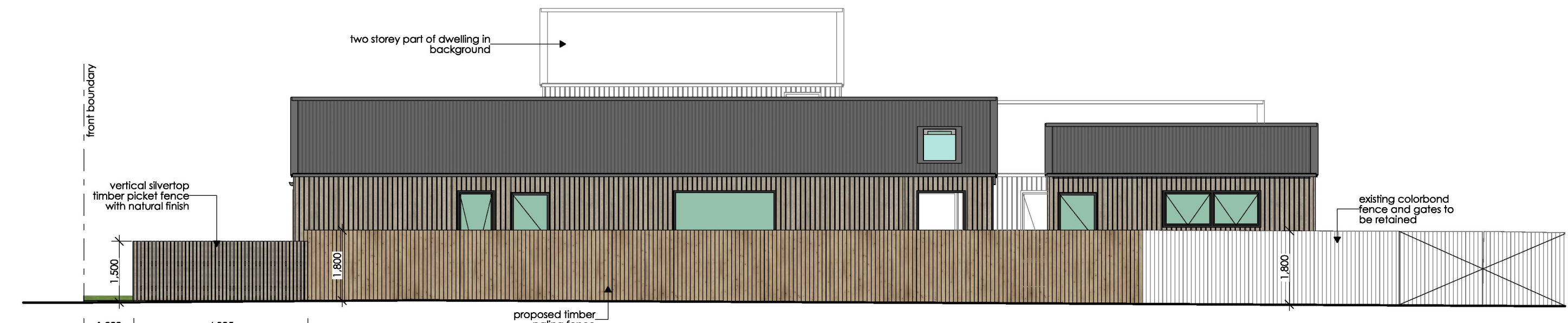
proposed south elevation  
scale 1:100



proposed west elevation  
scale 1:100



proposed north elevation  
scale 1:100

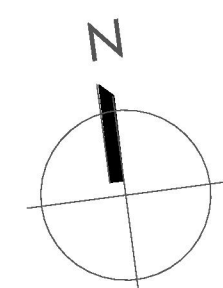


proposed east elevation  
scale 1:100

- General Notes
- The Builder shall check all dimensions and levels on site prior to construction.
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  - Drawings shall not be used for construction purposes until issued for construction.
  - All works must be executed in a workman like manner and all materials must conform to current Australian Standard codes.
  - These plans are to be read in conjunction with project specifications, relevant reports, engineering and soil testing where indicated.
  - Written dimensions take precedence over scaled dimensions.

rev	description	rev date	checked

NOT FOR  
CONSTRUCTION



SITE ADDRESS:  
90 BANK STREET PORT FAIRY 3284

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DONNA MONAGHAN  
DRAWN BY:  
DONNA & SHARON  
ISSUE:  
PLANNING APPLICATION  
ISSUE DATE:  
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SHEET SIZE:  
A1  
PROJECT NO.  
23018  
DRAWING NO.  
2 / 2

Address: 853 Raglan Parade, Warrambrook VIC 3280  
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