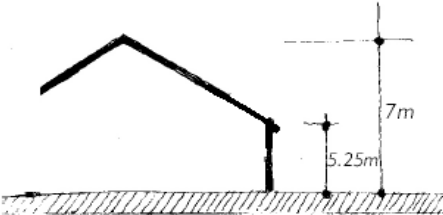
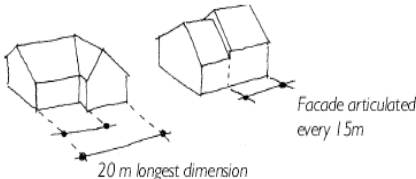
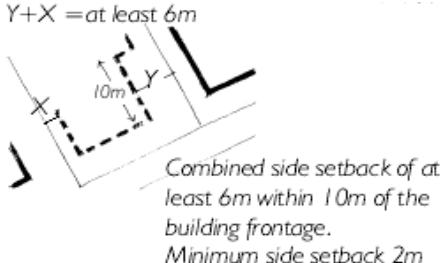
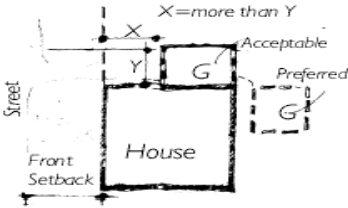
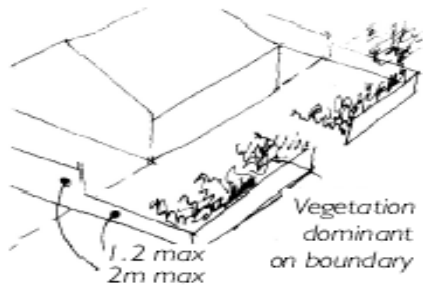
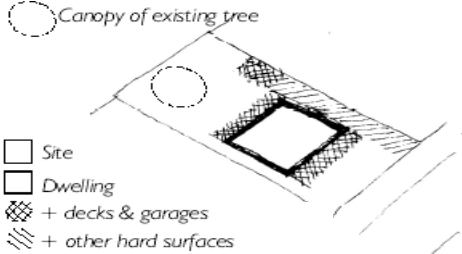
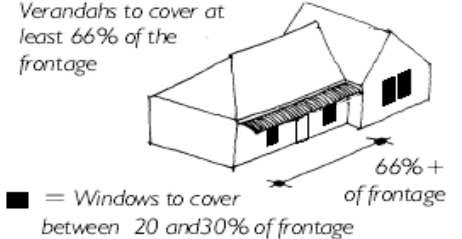
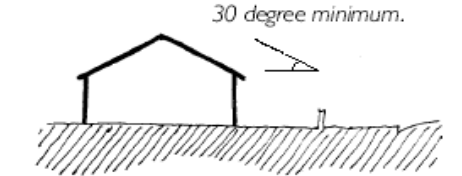


Character Area 8

Performance Standard	Acceptable Solutions to meet Performance Standards	Design Notes for Acceptable Solutions	How does your proposal respond to the Performance Standard ? If it does not conform, how else does it achieve the Performance Standard?
<p>Heights Ensure new development is not detrimental to the area's character.</p>		<p>Height of streetside façade 5.25m above natural ground level or less. Absolute height of building 7m above natural ground level or less.</p>	<p>The proposed streetside façade height is 3m. The proposed maximum building heights is 6.85m</p>
<p>Building Bulk and Mass Ensure new development does not compromise the characteristic scale and pattern of the area.</p>	<p>Examples of articulation</p> 	<p>Maximum dimension on plan (length or width) 20m. Façade articulation every 15m.</p>	<p>The length of the proposed dwelling is 23.58m. This length is articulated by the first floor (see proposed west elevation). The width of the front façade is 14.44m. The portico verandah breaks up the building mass by creating a change in height between the garage and dwelling.</p>
<p>Setbacks Ensure development reflect the area's characteristic and valued pattern of buildings within landscaped lots.</p>		<p>Front setback from property boundary to street of 6m.</p>	<p>The front setback of the existing dwelling is 5.3m. The proposed dwelling is to be setback 5.3m to match this. The proposed dwelling has a combined side setback of 3.94m within 10m of the building frontage. As the eastern boundary abuts a laneway, the reduced setback is not detrimental to the character of the area.</p>

<p>Car Parking, garages and other outhouses Ensure car parking, garages and other outhouses are not detrimental to the character of the area.</p>	 <p><i>If the garage has a greater setback than 10m from the front boundary, then the garage can have a nil setback to the side boundary, provided that all other performance standards are met and there is no other detriment is caused.</i></p>	<p>Garages and other outhouses setback at least 6m from the street or the same distance behind the façade as the width of the garage/outhouse, whichever is the greater. Garage width 6m or less where visible from the street. Visitor parking allowed on street where it can be accommodated where it allows for unobstructed flow of pedestrians and lies entirely outside the canopy of existing trees. Off street parking encouraged. Garage width 6.5m or less</p>	<p><i>Double garages will generally require a setback greater than 6m to achieve adequate screening. Character objectives are best achieved where the garage entry can not be seen from the street.</i></p>	<p>The garage is setback 5.3m from the street to match the existing dwelling setback. The width of the garage is 5.67m and is clad in the same material as the proposed dwelling so that it blends in seamlessly.</p>
<p>Building Materials and Colours Ensure development respects the character of the area and does not visually overwhelm its setting and minimises its impact on the area's hydrology.</p>	<p>Use natural, less processed materials such as timber, render or masonry for the walls, unrendered brickwork or blockwork is not acceptable. Non reflective materials such as corrugated iron or appropriate colourbond for the building and verandah roof. Shiny reflective materials are to be avoided.</p>	<p><i>Use combinations of appropriate colours can enhance the area's character. For example, sparing use of darker or stronger colours to pick out details such as window frames and verandah details. Form driveways in a permeable material such as scoria or gravel which is better from both an ecological and character perspective.</i></p>	<p><i>Use combinations of appropriate colours can enhance the area's character. For example, sparing use of darker or stronger colours to pick out details such as window frames and verandah details. Form driveways in a permeable material such as scoria or gravel which is better from both an ecological and character perspective.</i></p>	<p>The proposed cladding is to be vertical timber with a natural finish. The roof will be colorbond 'basalt'. Windows and doors will be powder coated aluminium in 'basalt'.</p>
<p>Landscaping and Fencing Ensure development reflects the buildings in landscape character of the area and that buildings can provide passive surveillance to the street.</p>		<p>Cottage landscaping to provide green "soft" foreground to development and provides the dominant element of the property boundary when viewed from the street. Fences should be at least 50% visually permeable. Fences forward of the streetside façade should be no more than 1.2m high. Fences behind the front façade no more than 2m high.</p>	<p>Seek horticultural advice about appropriate species selection and how to ensure the long term vitality of the plants. Retain all significant vegetation on site except environmental weeds as defined by DSE. Ideally development should result in a net gain in tree canopy. Use flowering shrubs and trees to add seasonal interest.</p>	<p>The front fence is to be 1.5m high timber pickets in natural finish. It is to be setback 1.2m from the front boundary. This allows for planting of cushion bush shrubs between the front boundary fence, softening the street façade. The existing front fence (to be demolished) is between 1.9m-2.1m high. The proposed fence is much lower than this to provide more visual street appeal to the proposed dwelling.</p>

<p>Site Coverage Ensure new development respects the pattern of building and open space characteristic of the area.</p>	 <p>Canopy of existing tree</p> <p>Site Dwelling + decks & garages + other hard surfaces</p>	<p>Site Coverage:</p> <p>Buildings 40% or less</p> <p>Buildings, garages, decks and other covered land 50% or less</p> <p>All hard surfaces 60% or less</p> <p>No impermeable surfaces or changes in level under the drip line of existing trees</p>	<p><i>Ideally, re-development should not result in a net gain in areas covered by impermeable surfaces.</i></p>	<p>The proposed site coverage of buildings, garages and decks is 369.19m² (37%)</p> <p>Proposed hard surfaces cover 353.86m² (36%) of the site</p>
<p>Frontage to Street Ensure buildings are aligned to street and provide it with an attractive and active edge that also offers passive surveillance to the street.</p>	 <p>Verandahs to cover at least 66% of the frontage</p> <p>66%+ of frontage</p> <p>■ = Windows to cover between 20 and 30% of frontage</p>	<p>Windows visible from the street to have vertical orientation and cover between 20 and 30% of the street façade.</p> <p>Service boxes and storage areas not visible from the street.</p>	<p><i>Allow direct access from the dwelling's main habitable rooms to outdoor space.</i></p>	<p>Windows visible from the street cover 16% of the street façade.</p>
<p>Roof Pitch and alignment Ensure development responds appropriately to the predominant roof character.</p>	 <p>30 degree minimum.</p>	<p>Roof pitch at least 30 degrees. No requirement on alignment.</p>	<p><i>Pitch verandahs at a lesser degree than roofs.</i></p>	<p>The proposed roof pitch is 32°</p>