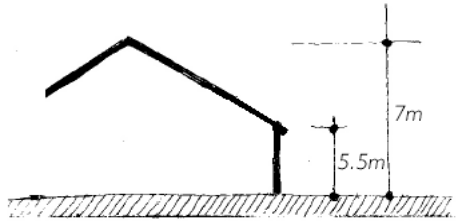
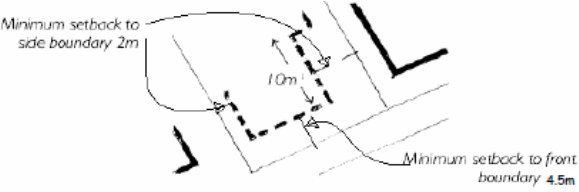
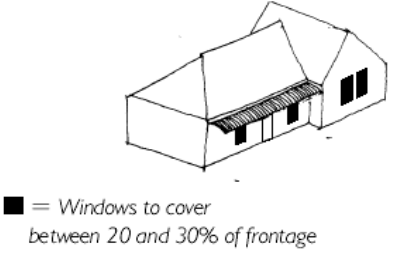
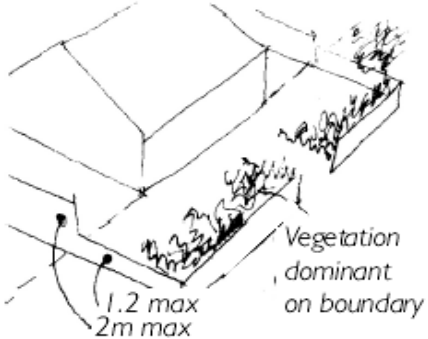
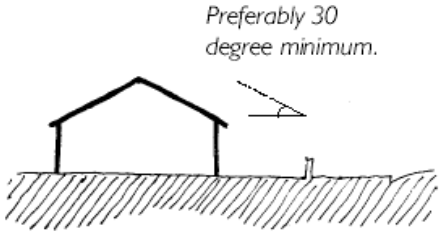


Character Area 14

Performance Standard	Acceptable Solutions to meet Performance Standards		Design Notes for Acceptable Solutions	How does your proposal respond to the Performance Standard ? If it does not conform, how else does it achieve the Performance Standard?
<p>Heights Ensure buildings in this area do not overwhelm those of the character areas or compete with the commercial and civic heart of Port Fairy for dominance.</p>	 <p>Height of façade 5.5m above natural ground level or less. Absolute height of building 7m or less. Excavation of the dunes is discouraged.</p>		<p>Appropriate heights help to ensure that the characteristic scale of building established by the towns heritage areas is respected and its contribution to character of the township is not overwhelmed by new development. Façade height should be 5.5m above the designated floor height rather than natural ground level, if the dwelling is affected by LSIO.</p>	<p>The proposed streetside façade height is 3m. The proposed maximum building heights is 6.85m.</p>
<p>Setbacks Ensure new development does not compromise the characteristic scale and pattern of development in the area.</p>	 <p>Minimum setback to side boundary 2m 10m Minimum setback to front boundary 4.5m</p>		<p>Appropriate setbacks contribute to Port Fairy's buildings set in landscape character. Dwellings facing over the rear boundary of a lot should have a setback of 4.5m.</p>	<p>The front setback of the existing dwelling is 5.3m. The proposed dwelling is to be setback 5.3m to match this. The proposed dwelling has a side setback of 2.04m to the west boundary and 1.9m to the east boundary.</p>
<p>Frontage Ensure buildings are aligned to the street and provide it with an attractive and active edge.</p>	 <p>■ = Windows to cover between 20 and 30% of frontage</p>	<p>Windows visible from the street to cover between 20 and 30% of the street façade. Service boxes and storage areas not visible from the street.</p>	<p><i>Windows visible from the street increase the sense of safety for people walking along the adjacent footpath and add visual interest.</i></p>	<p>Windows visible from the street cover 16% of the street façade.</p>

<p>Landscaping and Fencing Ensure development reflects the "buildings in gardens" character of Port Fairy.</p>		<p>Landscaping to provide a colourful foreground that matures to a height greater than the fence and provides the dominant element of the property boundary. In front of building façade fences should be no more than 1.2m high. Fences behind the front façade fences no more than 2m high.</p>	<p><i>Seek horticultural advice about appropriate species selection and how to ensure the long term vitality of the plants. Flowering shrubs and trees add seasonal interest. Retain all significant vegetation on site except environmental weeds as defined by DSE. Use flowering shrubs and trees to add seasonal interest. Vistas from the rail trail should be protected by the sympathetic positioning of landscaping.</i></p>	<p>The front fence is to be 1.5m high timber pickets in natural finish. It is to be setback 1.2m from the front boundary. This allows for planting of cushion bush shrubs between the front boundary fence, softening the street façade.</p> <p>The existing front fence (to be demolished) is between 1.9m-2.1m high. The proposed fence is much lower than this to provide more visual street appeal to the proposed dwelling.</p>
<p>Roofs Ensure development responds appropriately to the predominant roof character.</p>		<p>Roofs should be pitched. No requirement on alignment.</p>	<p><i>Pitched roofs are characteristic of Port Fairy. Verandahs should generally be pitched at a lesser angle than roofs.</i></p>	<p>The proposed roof pitch is 32°</p>