

Sheet List			
Sheet Number	Sheet Name	Current Revision	Current Revision Date
A0.00	Cover	H	01/08/24
A0.01	Context Plan	A	20/06/24
A0.02	Lot Boundary Plan	C	20/06/24
A1.01	Site Plan - Overall	E	20/06/24
A1.02	Site Plan - Elders	J	01/08/24
A1.04	Floor Plan - Elders	F	01/08/24
A2.01	Elevations - East, North	G	01/08/24
A2.02	Elevations - West, South	G	01/08/24
A3.01	Sections	D	12/02/24
A6.01	Signage Details	B	30/07/24



Revision	Description	Date
B	Warehouse update	28/08/23
C	Design Update	06/09/23
D	Renumbered Elders Sheets, added sheet A1.02 Site Plan Service Station	04/04/24
E	External white finishes changed to monument.	05/06/24
F	Added sheet A6.01 Signage details	21/06/24
G	Elders Update	30/07/24
H	Elders sign added to North elevation of shed, offie roof changed to monument	01/08/24

Sheet Name	Cover: A0.00
Scale: at A1	Print Date 1/08/2024 2:33:57 PM

Project Number	335	Project Name	Elders Mortlake
Address	Lot 1 TP960462 Hopkins Highway, Mortlake VIC 3272		

DA Application

# LAWRENCE ASSOCIATES

Lawrence Associates Pty Ltd. ABN: 30 721 840 083 ACN: 009 366 563  
 Architectural Registration: WA: 2597 VIC: 600109 NSW: 11140  
 (+61) 0404 864 146  
 contact@lapi.com.au  
 www.lapi.com.au

The Studio, Rear 16 Florence Road,  
 Nedlands, WA 6009  
 PO Box 290, Nedlands, WA 6909

Drawings produced in Autodesk Revit. Noted dimensions shall be taken in preference to scaling. Do not scale or dimension by hand. Verify all dimensions on site prior to construction or quote. Upon receipt of updated plans, discard previous versions.

The intellectual manifestation of this drawing and its Revit file generated origin is subject to Global copyright. Its use is subject to the approval of its owners and authors under license for implementation of a construction process specific to a single site and location. Reproduction and/or use of it, in full or part, for any other purpose without the written approval of its owners and authors is illegal and subject to prosecution.



**1 Context Plan**  
1 : 4000

Revision	Description	Date
A	Aerial scale corrected	20/06/24

Sheet Name  
**Context Plan: A0.01**

Scale: 1 : 4000 at A1      Print Date      1/08/2024 2:33:57 PM

SCALE  
1:4000

Project Number      Project Name  
**335                      Elders Mortlake**

Address  
Lot 1 TP960462  
Hopkins Highway, Mortlake VIC 3272

**DA Application**

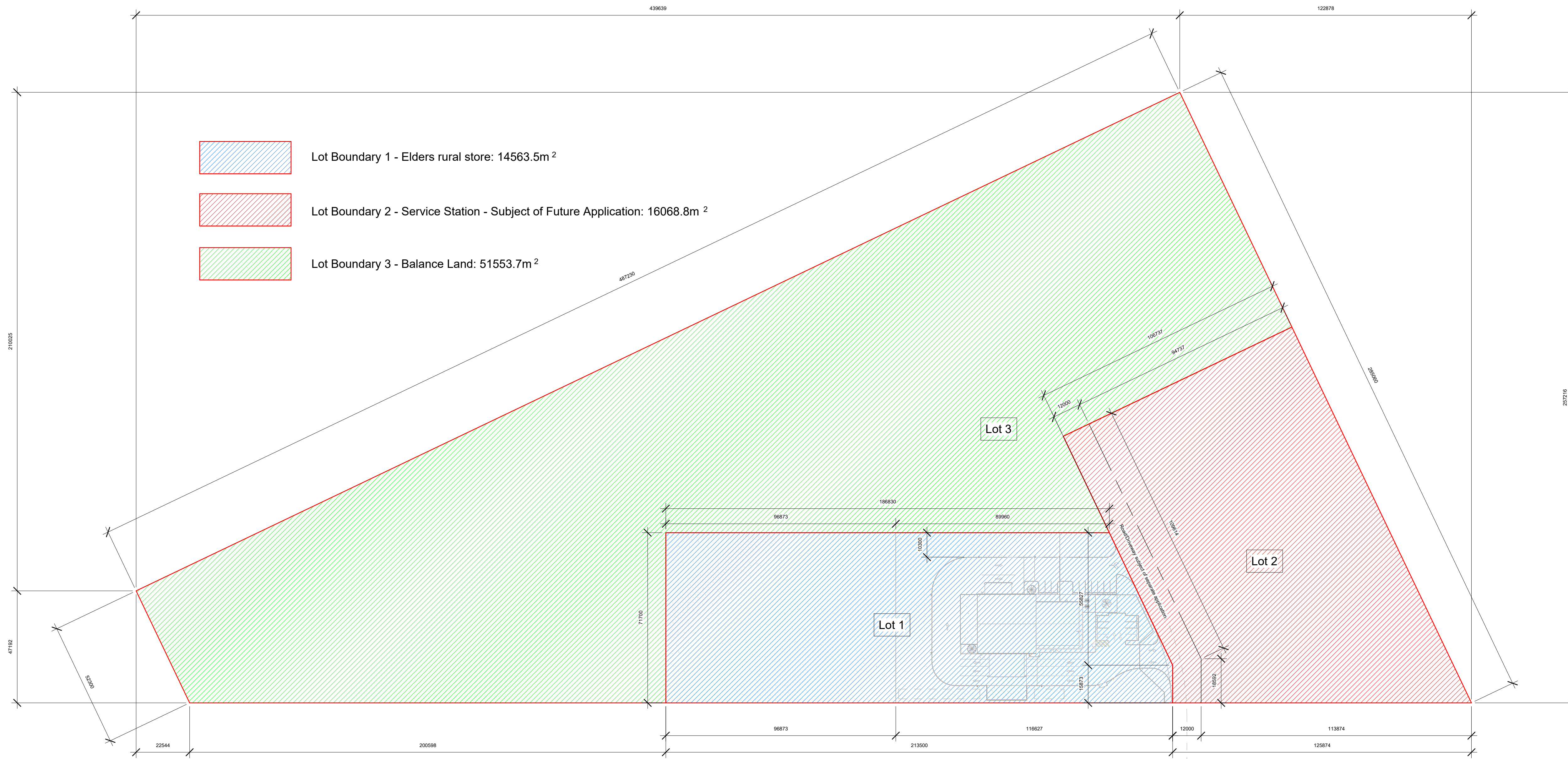
LAWRENCE  
ASSOCIATES

Lawrence Associates Pty Ltd. ABN: 30 721 840 083 ACN: 009 366 563  
Architectural Registration: WA: 2597 VIC: 600109 NSW: 11140

(+61) 0404 864 146      The Studio, Rear 16 Florence Road,  
contact@lapi.com.au      Nedlands, WA 6009  
www.lapi.com.au                      PO Box 290, Nedlands, WA 6909

Drawings produced in Autodesk Revit. Noted dimensions shall be taken in preference to scaling. Do not scale or dimension by hand. Verify all dimensions on site prior to construction or quote. Upon receipt of updated plans, discard previous versions.

The intellectual manifestation of this drawing and its Revit file generated origin is subject to Global copyright. Its use is subject to the approval of its owners and authors under license for implementation of a construction process specific to a single site and location. Reproduction and/or use of it, in full or part, for any other purpose without the written approval of its owners and authors is illegal and subject to prosecution.



**1 Lot Boundary Plan**  
1 : 1000

Revision	Description	Date
A	Boundary Plan Update	04/04/24
B	Road added to Lot 1	05/06/24
C	Road/Driveway added to Lot 2	20/06/24

Sheet Name  
**Lot Boundary Plan: A0.02**

Scale: 1 : 1000 at A1      Print Date: 1/08/2024 2:33:57 PM

Project Number: **335**      Project Name: **Elders Mortlake**

Address:  
Lot 1 TP960462  
Hopkins Highway, Mortlake VIC 3272

**DA Application**

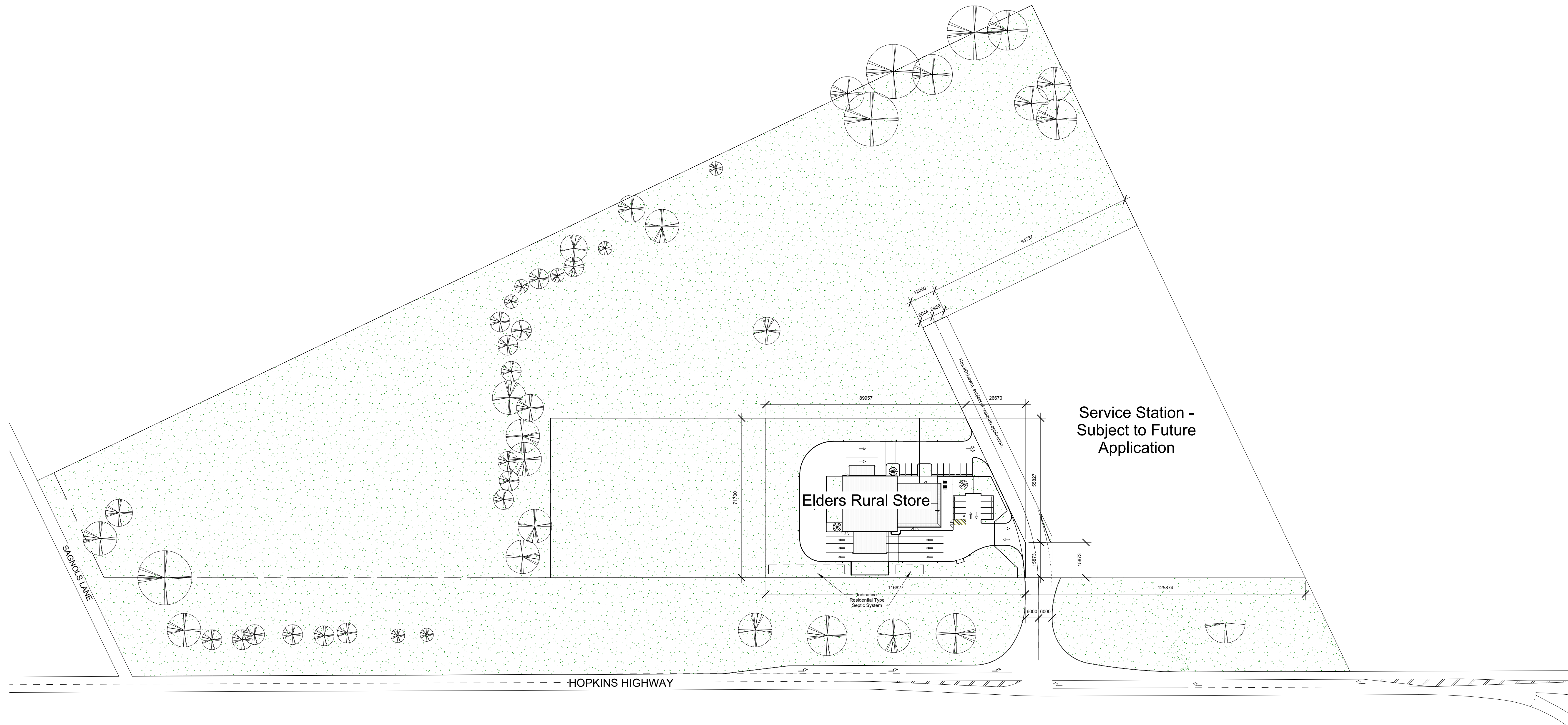
**LAWRENCE ASSOCIATES**

Lawrence Associates Pty Ltd. ABN: 30 721 840 083 ACN: 009 366 563  
Architectural Registration: WA: 2597 VIC: 600109 NSW: 11140

(+61) 0404 864 146      The Studio, Rear 16 Florence Road,  
contact@lapi.com.au      Nedlands, WA 6009  
www.lapi.com.au      PO Box 290, Nedlands, WA 6909

Drawings produced in Autodesk Revit. Noted dimensions shall be taken in preference to scaling. Do not scale or dimension by hand. Verify all dimensions on site prior to construction or quote. Upon receipt of updated plans, discard previous versions.

The intellectual manifestation of this drawing and its Revit file generated origin is subject to Global copyright. Its use is subject to the approval of its owners and authors under license for implementation of a construction process specific to a single site and location. Reproduction and/or use of it, in full or part, for any other purpose without the written approval of its owners and authors is illegal and subject to prosecution.



**1 Site - Overall**  
1 : 1000

Revision	Description	Date
A	Site update	28/08/23
B	Design Update	06/09/23
C	Service Station Updated, Added Stormwater Detention Basin, Added Septic System, Added Waster Water Trenches	04/04/24
D	Dims added, Service Station details removed	05/06/24
E	External traffic and shared driveway update	20/06/24

Sheet Name  
**Site Plan - Overall: A1.01**

Scale: 1 : 1000 at A1      Print Date: 1/08/2024 2:33:59 PM

SCALE 1:1000

Project Number: 335      Project Name: Elders Mortlake

Address:  
Lot 1 TP960462  
Hopkins Highway, Mortlake VIC 3272

DA Application

# LAWRENCE ASSOCIATES

Lawrence Associates Pty Ltd. ABN: 30 721 840 083 ACN: 009 366 563  
Architectural Registration: WA: 2597 VIC: 600109 NSW: 11140

(+61) 0404 864 146      The Studio, Rear 16 Florence Road,  
contact@lapi.com.au      Nedlands, WA 6009  
www.lapi.com.au      PO Box 290, Nedlands, WA 6909

Drawings produced in Autodesk Revit. Noted dimensions shall be taken in preference to scaling. Do not scale or dimension by hand. Verify all dimensions on site prior to construction or quote. Upon receipt of updated plans, discard previous versions.

The intellectual manifestation of this drawing and its Revit file generated origin is subject to Global copyright. Its use is subject to the approval of its owners and authors under license for implementation of a construction process specific to a single site and location. Reproduction and/or use of it, in full or part, for any other purpose without the written approval of its owners and authors is illegal and subject to prosecution.

Schedule of Areas - Elders	
Name	Area
Overall Elders Site	14563.5 m <sup>2</sup>
Current Site	7617.7 m <sup>2</sup>
Hardstand	2893.0 m <sup>2</sup>
Fence Posts, Racking & Future Expansion	150.2 m <sup>2</sup>
Landscaping	3128.5 m <sup>2</sup>
Display Feeders/Rings	99.3 m <sup>2</sup>
Warehouse	613.1 m <sup>2</sup>
Offices	331.1 m <sup>2</sup>

**GENERAL NOTES**

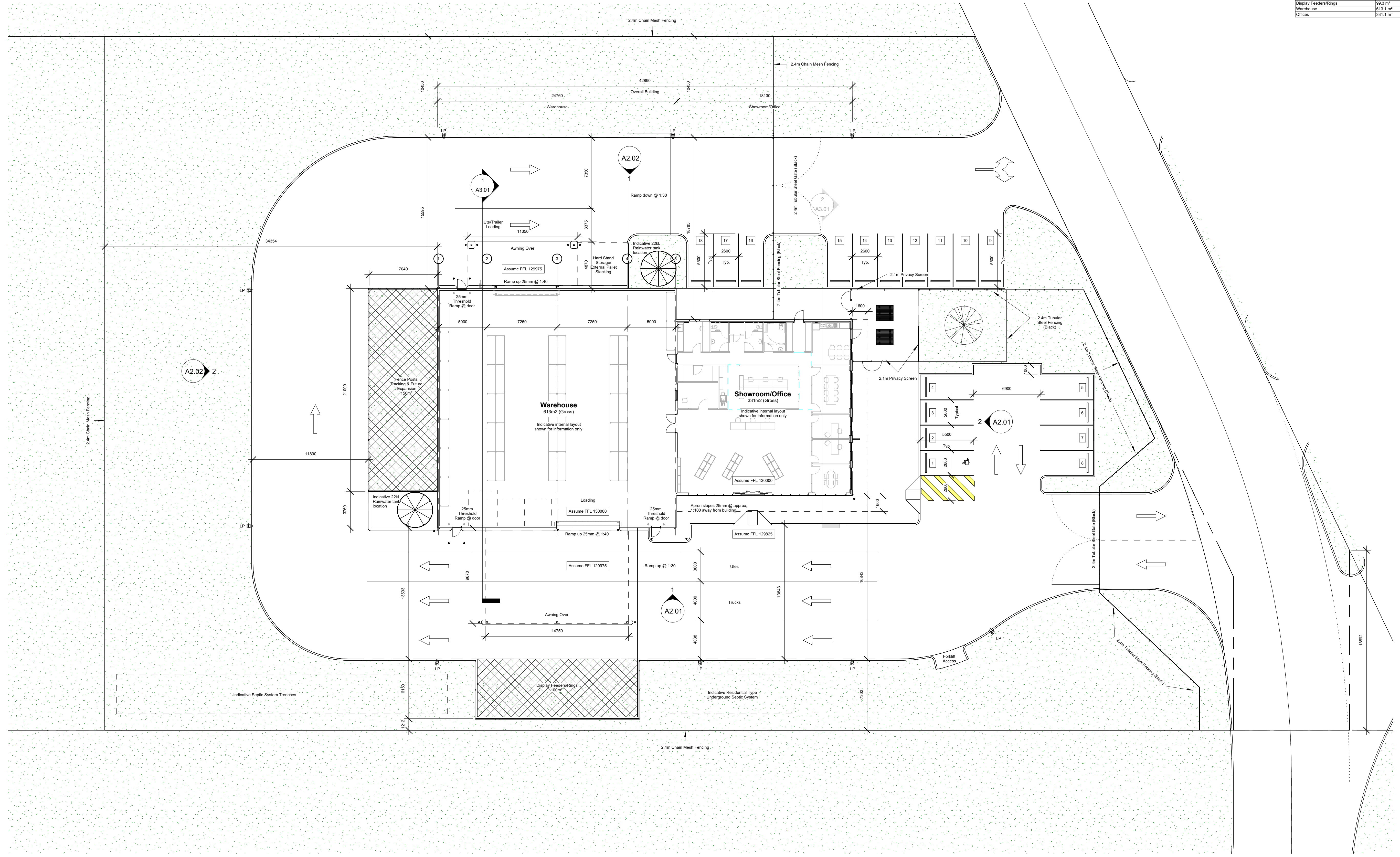
• Ground Lighting spacing as per Kyneton

**Fencing**

- Chainwire on both sides and rear boundary.
- 2400 secure Black tube entrance and BBQ with 1200 high division to carpark.
- Gates: Swingwing gates.

**Civil Notes**

- HE and miss kerbing to carparks, subject to civil design.



**1 Site - Elders**  
1 : 200

Revision	Description	Date
D	Updated site levels for warehouse levels, added site fences, added forklift access to grassed area, added site lighting	12/02/24
E	Added Indicative Septic System Location	11/04/24
F	Dims added, internal layout shown as indicative	05/06/24
G	External traffic and shared driveway update	20/06/24
H	Area Correction	11/07/24
I	Elders Update	30/07/24
J	Chainlink fence added next to gate, eyewash moved outside, warehouse PA door removed, double door shifted	01/08/24

Sheet Name  
**Site Plan - Elders: A1.02**

Scale: 1 : 200 at A1

Print Date: 1/08/2024 2:33:59 PM

Project Number: 335

Project Name: Elders Mortlake

Address: Lot 1 TP960462 Hopkins Highway, Mortlake VIC 3272

**DA Application**

LAWRENCE ASSOCIATES

Lawrence Associates Pty Ltd. ABN: 30 721 840 083 ACN: 009 366 563  
Architectural Registration: WA: 2597 VIC: 600109 NSW: 11140

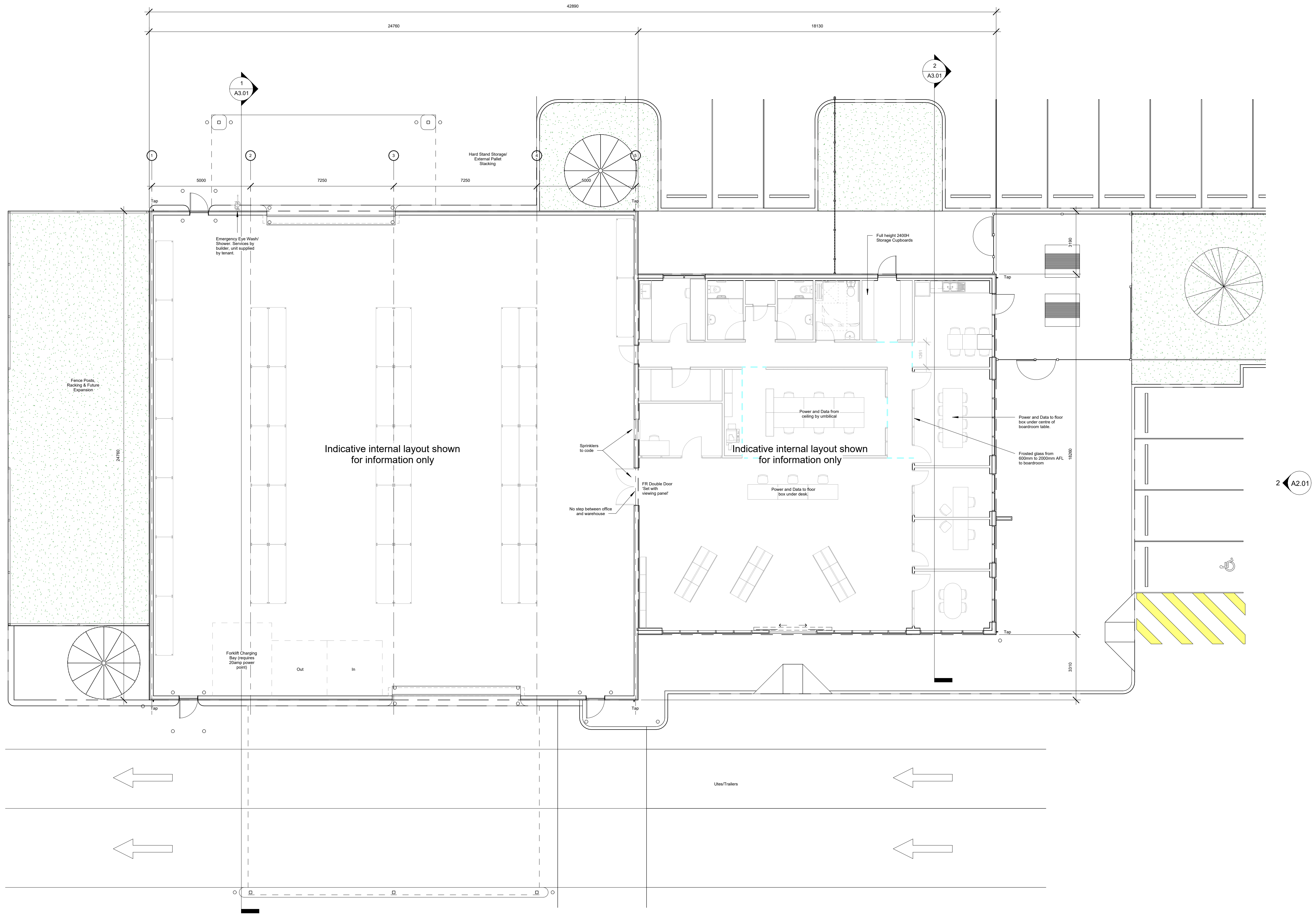
(+61) 0404 864 146  
contact@lapi.com.au  
www.lapi.com.au

The Studio, Rear 16 Florence Road, Nedlands, WA 6009  
PO Box 290, Nedlands, WA 6909

Drawings produced in Autodesk Revit. Noted dimensions shall be taken in preference to scaling. Do not scale or dimension by hand. Verify all dimensions on site prior to construction or quote. Upon receipt of updated plans, discard previous versions.

The intellectual manifestation of this drawing and its Revit file generated origin is subject to Global copyright. Its use is subject to the approval of its owners and authors under license for implementation of a construction process specific to a single site and location. Reproduction and/or use of it, in full or part, for any other purpose without the written approval of its owners and authors is illegal and subject to prosecution.

- GENERAL NOTES**
- Floor to be level between office and warehouse
- Kitchen Specification Notes:**
- Finish: Top
    - Brand: Essastone (Subject to Statutory compliance). Alternatives to approval.
    - Anti Concrete 20mm Thick
    - Finish: Matt
  - Laminated Plywood Natural Ply to fronts
  - Internal carcass in Polytec Legato Crisp White
  - Kick in Polytec Crisp Matt
- Windows Specification Notes:**
- Manual Roller Blinds - will be installed if required post completion.
- Services Spec. Notes:**
- NBN and data and electrical
- Materials Spec. Notes:**
- Walls: Insulated Stud walls with a plaster finish
- Warehouse Spillage Containment Bund**
- Refer to Civil Design for WH perimeter bund levels for spillage control paving falls to pits



**1 Floor Plan - Elders**  
1 : 100

Revision	Description	Date
C	Design Update	06/09/23
D	Elders Updates: Toilets swapped with Agronomy Lab, Workstations swapped with Comms/Merch Manager, Boardroom shifted, kitchen increased, kitchen cabinetry added, bollards added to warehouse, door between office/warehouse updated, eyewash/shower added to warehouse	12/02/24
E	Dims added, internal layout shown as indicative	05/06/24
F	Chainlink fence added next to gate, eyewash moved outside, warehouse PA door removed, double door shifted	01/08/24

Sheet Name  
**Floor Plan - Elders: A1.04**

Scale: 1: 100 at A1

Print Date: 1/08/2024 2:34:01 PM

Project Number: **335**

Project Name: **Elders Mortlake**

Address:  
Lot 1 TP960462  
Hopkins Highway, Mortlake VIC 3272

**DA Application**

LAWRENCE ASSOCIATES

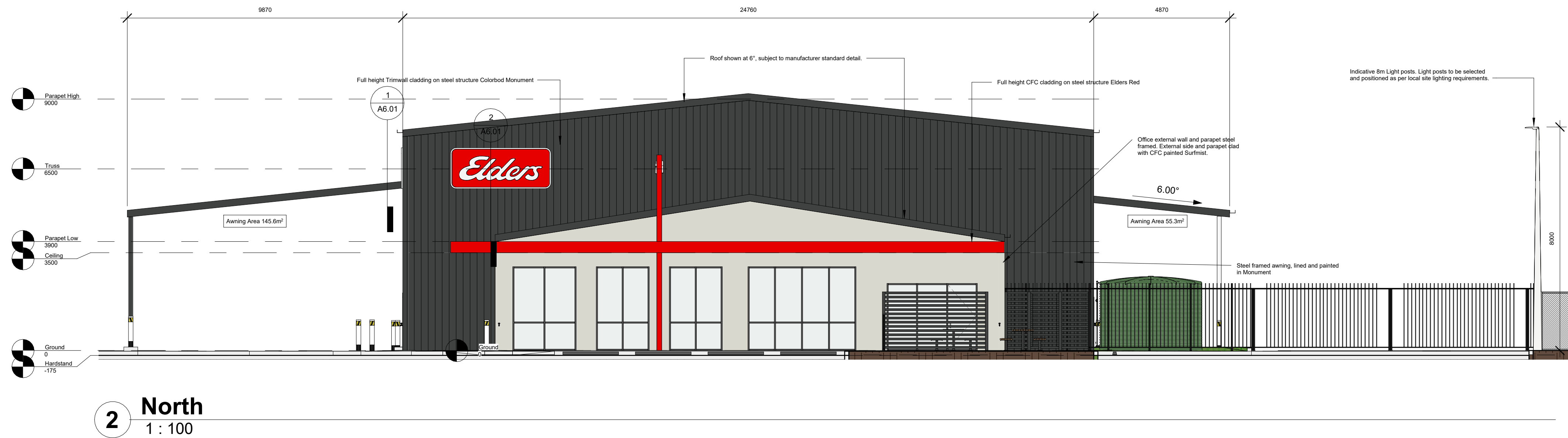
Lawrence Associates Pty Ltd. ABN: 30 721 840 083 ACN: 009 366 563  
Architectural Registration: WA: 2597 VIC: 600109 NSW: 11140

(+61) 0404 864 146  
contact@lapi.com.au  
www.lapi.com.au

The Studio, Rear 16 Florence Road,  
Nedlands, WA 6009  
PO Box 290, Nedlands, WA 6909

Drawings produced in Autodesk Revit. Noted dimensions shall be taken in preference to scaling. Do not scale or dimension by hand. Verify all dimensions on site prior to construction or quote. Upon receipt of updated plans, discard previous versions.

The intellectual manifestation of this drawing and its Revit file generated origin is subject to Global copyright. Its use is subject to the approval of its owners and authors under license for implementation of a construction process specific to a single site and location. Reproduction and/or use of it, in full or part, for any other purpose without the written approval of its owners and authors is illegal and subject to prosecution.



Revision	Description	Date
A	Loading area wall removed, material details added	09/06/23
B	Warehouse reduced, warehouse parapet's removed, warehouse concrete walls replaced with steel and cladding	28/08/23
C	Design Update	06/09/23
D	Office roof/ceiling height increased, added bollards, site fencing added	12/02/24
E	Dims added, white external finishes changed to monument	05/06/24
F	Elders Update	30/07/24
G	Elders sign added to North elevation of shed, office roof changed to monument	01/08/24

Sheet Name	Print Date
Elevations - East, North: A2.01	1/08/2024 2:34:05 PM
Scale: 1: 100 at A1	

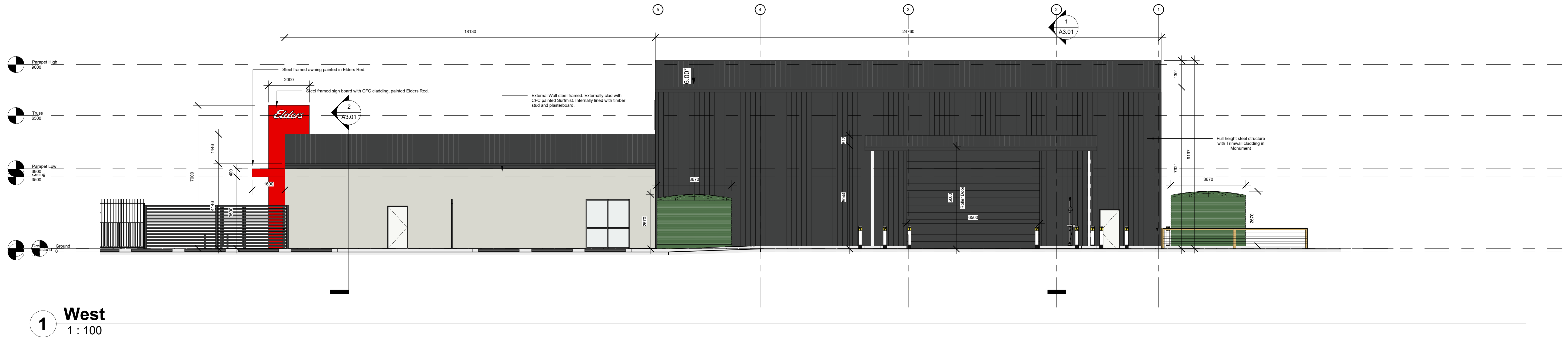
Project Number	Project Name
335	Elders Mortlake
Address	
Lot 1 TP960462 Hopkins Highway, Mortlake VIC 3272	

DA Application

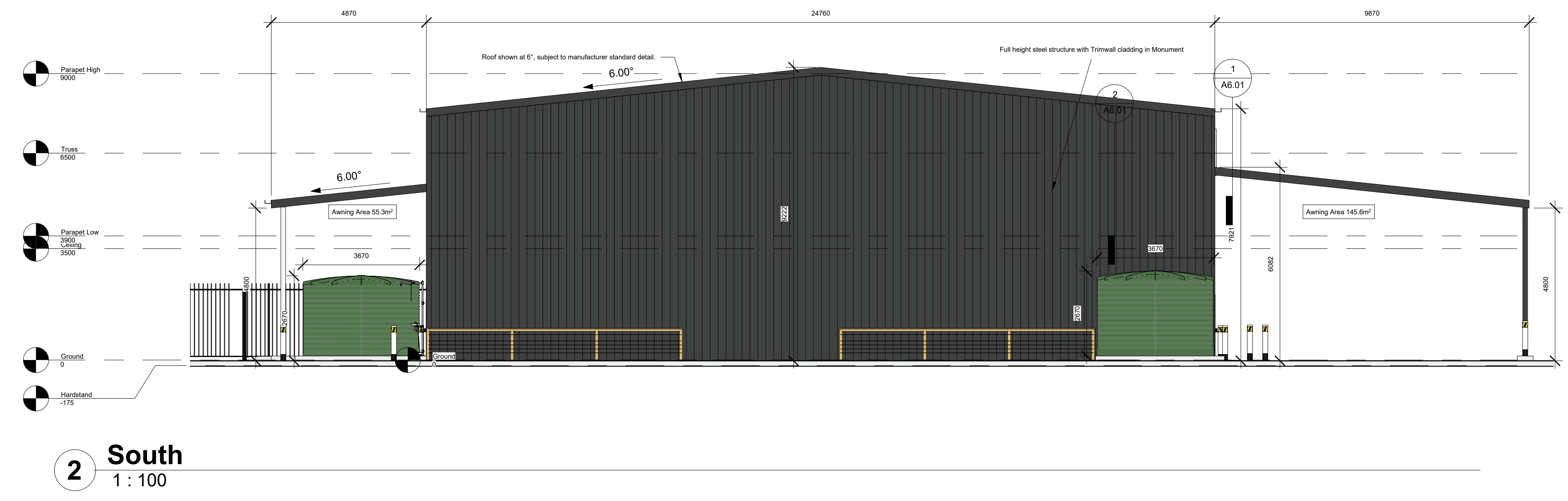
# LAWRENCE ASSOCIATES

Lawrence Associates Pty Ltd. ABN: 30 721 840 083 ACN: 009 366 563  
Architectural Registration: WA: 2597 VIC: 600109 NSW: 11140  
(+61) 0404 864 146  
contact@lapi.com.au www.lapi.com.au  
The Studio, Rear 16 Florence Road, Nedlands, WA 6009  
PO Box 290, Nedlands, WA 6009

Drawings produced in Autodesk Revit. Noted dimensions shall be taken in preference to scaling. Do not scale or dimension by hand. Verify all dimensions on site prior to construction or quote. Upon receipt of updated plans, discard previous versions.  
The intellectual manifestation of this drawing and its Revit file generated origin is subject to Global copyright. Its use is subject to the approval of its owners and authors under license for implementation of a construction process specific to a single site and location. Reproduction and/or use of it, in full or part, for any other purpose without the written approval of its owners and authors is illegal and subject to prosecution.



**1** West  
1:100



**2** South  
1:100

Revision	Description	Date
A	Material details added	09/06/23
B	Warehouse reduced, warehouse parapet's removed, warehouse concrete walls replaced with steel and cladding	28/08/23
C	Design Update	06/09/23
D	Elders Update	22/02/24
E	Dims added, white external finishes changed to monument	05/06/24
F	Elders Update	30/07/24
G	Elders sign added to North elevation of shed, offie roof changed to monument	01/08/24

Sheet Name  
**Elevations - West, South: A2.02**

Scale: 1:100 at A1      Print Date: 1/08/2024 2:34:11 PM

SCALE: 1:100

Project Number: **335**      Project Name: **Elders Mortlake**

Address:  
Lot 1 TP960462  
Hopkins Highway, Mortlake VIC 3272

**DA Application**

# LAWRENCE ASSOCIATES

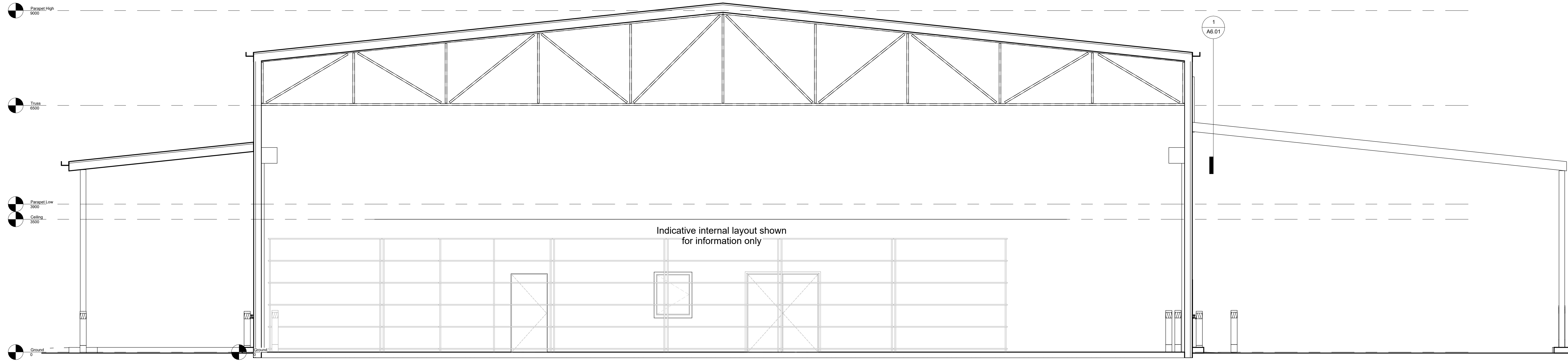
Lawrence Associates Pty Ltd. ABN: 30 721 840 083 ACN: 009 366 563  
Architectural Registration: WA: 2597 VIC: 600109 NSW: 11140

(+61) 0404 864 146      The Studio, Rear 16 Florence Road, Nedlands, WA 6009  
contact@lapi.com.au      PO Box 290, Nedlands, WA 6909  
www.lapi.com.au

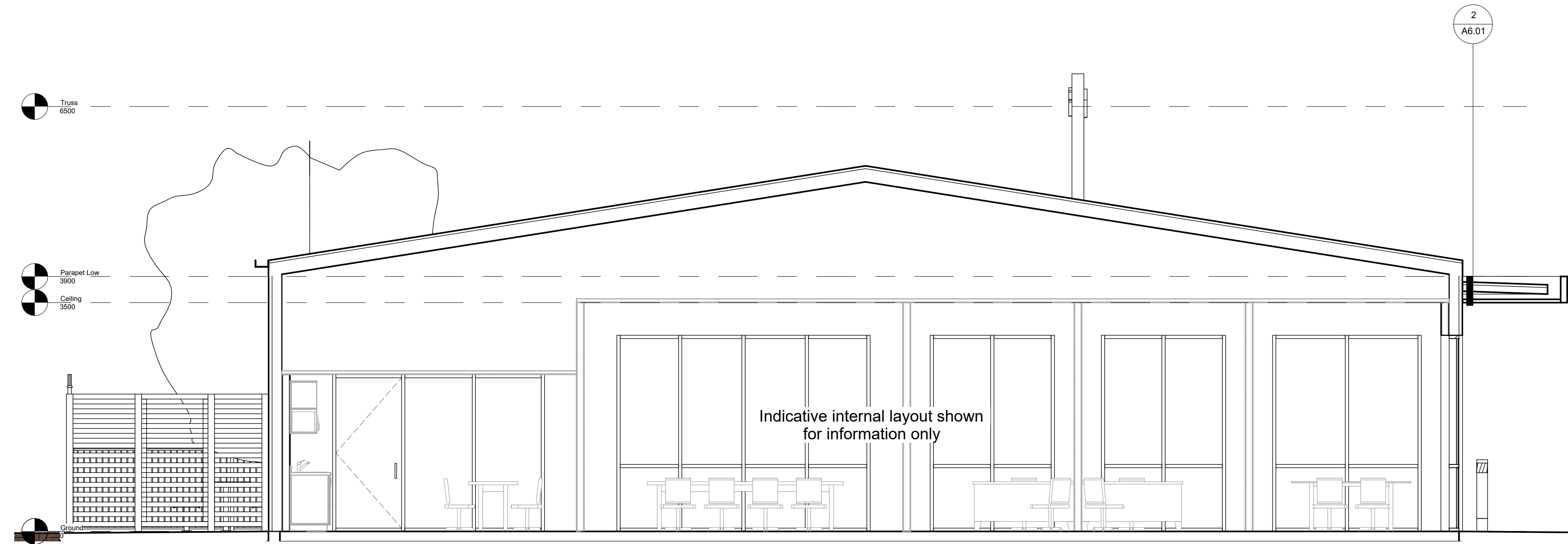
Drawings produced in Autodesk Revit. Noted dimensions shall be taken in preference to scaling. Do not scale or dimension by hand. Verify all dimensions on site prior to construction or quote. Upon receipt of updated plans, discard previous versions.

The intellectual manifestation of this drawing and its Revit file generated origin is subject to Global copyright. Its use is subject to the approval of its owners and authors under license for implementation of a construction process specific to a single site and location. Reproduction and/or use of it, in full or part, for any other purpose without the written approval of its owners and authors is illegal and subject to prosecution.





**1 Section - Warehouse**  
1 : 50



**2 Section - Office**  
1 : 50

Revision	Description	Date
A	Internal layout changes, some furniture added	09/06/23
B	Warehouse roof parapet removed	28/08/23
C	Design Update	06/09/23
D	Office roof/ceiling height increased, added bollards, site fencing added	12/02/24

Sheet Name	Sections: A3.01
Scale: 1 : 50 at A1	Print Date 1/08/2024 2:34:11 PM
SCALE	1:50

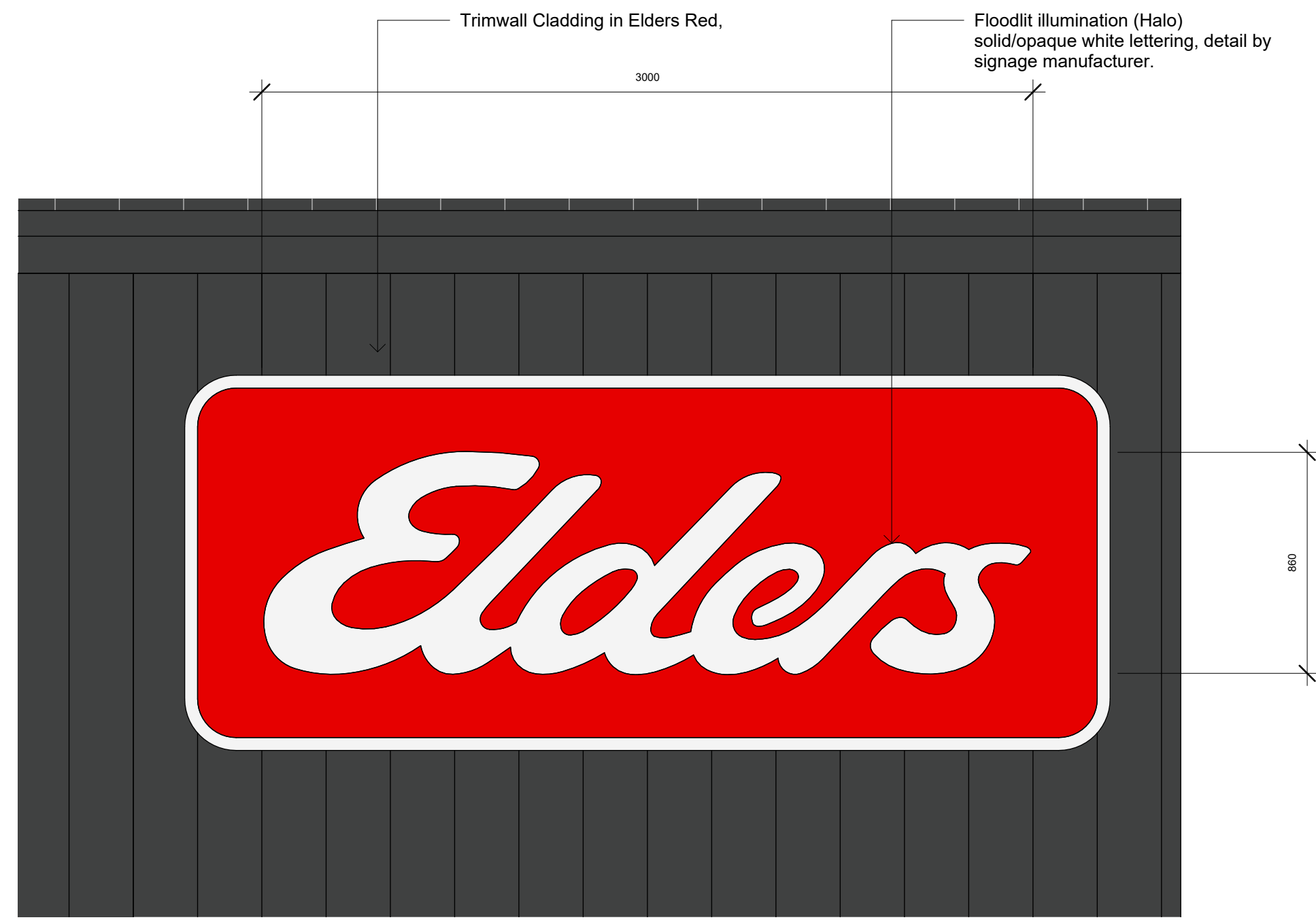
Project Number	335	Project Name	Elders Mortlake
Address			
Lot 1 TP960462 Hopkins Highway, Mortlake VIC 3272			

DA Application

LAWRENCE  
ASSOCIATES

Lawrence Associates Pty Ltd. ABN: 30 721 840 083 ACN: 009 366 563  
Architectural Registration: WA: 2597 VIC: 600109 NSW: 11140  
(+61) 0404 864 146  
contact@lapi.com.au  
www.lapi.com.au  
The Studio, Rear 16 Florence Road,  
Nedlands, WA 6009  
PO Box 290, Nedlands, WA 6909

Drawings produced in Autodesk Revit. Noted dimensions shall be taken in preference to scaling. Do not scale or dimension by hand. Verify all dimensions on site prior to construction or quote. Upon receipt of updated plans, discard previous versions.  
The intellectual manifestation of this drawing and its Revit file generated origin is subject to Global copyright. Its use is subject to the approval of its owners and authors under license for implementation of a construction process specific to a single site and location. Reproduction and/or use of it, in full or part, for any other purpose without the written approval of its owners and authors is illegal and subject to prosecution.



Signage Area: 1.142m<sup>2</sup>

**1 Warehouse Building Signage**  
1 : 20



Signage Area: 0.286m<sup>2</sup>

**2 Office Blade Sign**  
1 : 20

Revision	Description	Date
A	Signage updated to Halo lit	25/06/24
B	Elders Update	30/07/24

Sheet Name <b>Signage Details: A6.01</b>	
Scale: 1 : 20 at A1	Print Date: 1/08/2024 2:34:12 PM
<p>SCALE 1:20</p>	

Project Number <b>335</b>	Project Name <b>Elders Mortlake</b>
Address Lot 1 TP960462 Hopkins Highway, Mortlake VIC 3272	

DA Application

**LAWRENCE ASSOCIATES**

Lawrence Associates Pty Ltd. ABN: 30 721 840 083 ACN: 009 366 563  
 Architectural Registration: WA: 2597 VIC: 600109 NSW: 11140  
 (+61) 0404 864 146      The Studio, Rear 16 Florence Road,  
 contact@lapi.com.au      Nedlands, WA 6009  
 www.lapi.com.au      PO Box 290, Nedlands, WA 6909

Drawings produced in Autodesk Revit. Noted dimensions shall be taken in preference to scaling. Do not scale or dimension by hand. Verify all dimensions on site prior to construction or quote. Upon receipt of updated plans, discard previous versions.  
 The intellectual manifestation of this drawing and its Revit file generated origin is subject to Global copyright. Its use is subject to the approval of its owners and authors under license for implementation of a construction process specific to a single site and location. Reproduction and/or use of it, in full or part, for any other purpose without the written approval of its owners and authors is illegal and subject to prosecution.