

AUSTRALIAN STANDARDS - REQUIREMENTS

ALL SITE PREPERATION & EARTH RETAINING STRUCTURES SHALL BE IN ACCORDANCE WITH AS4678-2002 & STRICTLY IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

CONCRETE SLAB & FOOTINGS TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS2870-2009 & STRICTLY IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

PILED FOOTINGS TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS2159-2009 & STRICTLY IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

ALL MASONRY TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS3700-2018

THE STRUCTURAL DESIGN OF ALL BUILDING(S) TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS/NZS1170-2021 & STRICTLY IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

STEEL STRUCTURES TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS4100-2020 & STRICTLY IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

COLD-FORMED STEEL STRUCTURES TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS/NZS4600-2018 & STRICTLY IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

WINDOWS & DOORS SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS2047-2014

ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS1720-2019 & ERECTED, FXED & BRACED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

SHEET METAL ROOFING SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS1562-2018

TERRACOTTA, FIBRE-CEMENT & TIMBER SLATES & SHINGLES SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS4597-2005

ROOF TILES SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS2050-2018

METAL WALL CLADDING SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS1562-2018

AUTOCLOAVED AERATED CONCRETE WALL CLADDING SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS5146-2023

ALL WINDOWS & GLAZED DOORS SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS2047-2014 & STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

ALL GLAZING & GLAZED ASSEMBLIES SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS1288-2021 & STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

STRIP & SHEET FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH AS1684-2021

INSTALLATION OF PARTICLEBOARD FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH AS1860-2017

ALL TMBER DOORS & DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS2688-2017 UNLESS LISTED OTHERWISE IN SCHEDULE OF WORKS

TIMBER FRAMING IS TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1720-2019 & RESIDENTIAL TIMBER-FRAMED CONSTRUCTION AS1684-2021 & STRICTLY IN ACCORDANCE WITH THE RESIDENTIAL TIMBER FRAMING CODE.

ALL PLUMBING SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY & AS3500-2021, & IN ACCORDANCE WITH THE AUSTRALIAN BUILDING CODES BOARD (ABCB), NCC VOLUME 3 'PLUMBING CODE OF AUSTRALIA'

ALL PLUMBING WORK MUST CARRIED OUT BY A LICENSED PLUMBER

DRAINAGE SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS3500-2021

WATERPROOFING OF DOMESTIC WET AREAS SHALL BE IN ACCORDANCE WITH AS3740-2021 & CERAMIC TILES MUST BE IN ACCORDANCE WITH AS3958 & STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

INTERIOR & ARTIFICIAL LIGHTING SHALL BE DESIGNED & INSTALLED IN ACCORDANCE WITH AS/NZS1680-2018

SWIMMING POOLS, INCLUDING POOL DEPTHS, SAFETY BARRIERS & WATER RETICULATION SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH AS1926.3-2010 & STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

DOMESTIC COLID-FUEL BURNING APPLIANCES MUST BE INSTALLED IN ACCORDANCE WITH AS/NZS2918-2018 & STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

BUILDINGS LOCATED IN BUSHFIRE PRONE AREAS MUST COMPLY WITH AS3959-2018 & STRICTLY IN ACCORDANCE WITH THE CONSTRUCTION REQUIREMENTS PRESCRIBED WITHIN THE RELEVANT BAL RATING, ASSESSED WITHIN AS3959-2018.

ENGAGED PIERS IN SINGLE LEAF MASONRY WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLE 9.2 PIER SPACINGS FOR ONE WAY SPANNING WALLS, OF AUSTRALIAN ST&ARD AS4773.1-2015 MASONRY IN SMALL BUILDINGS. REFER TO THE TABLE EXTRACT FOR DETAILS

CONSTRUCTION TO BE IN ACCORDANCE TO BAL 12.5

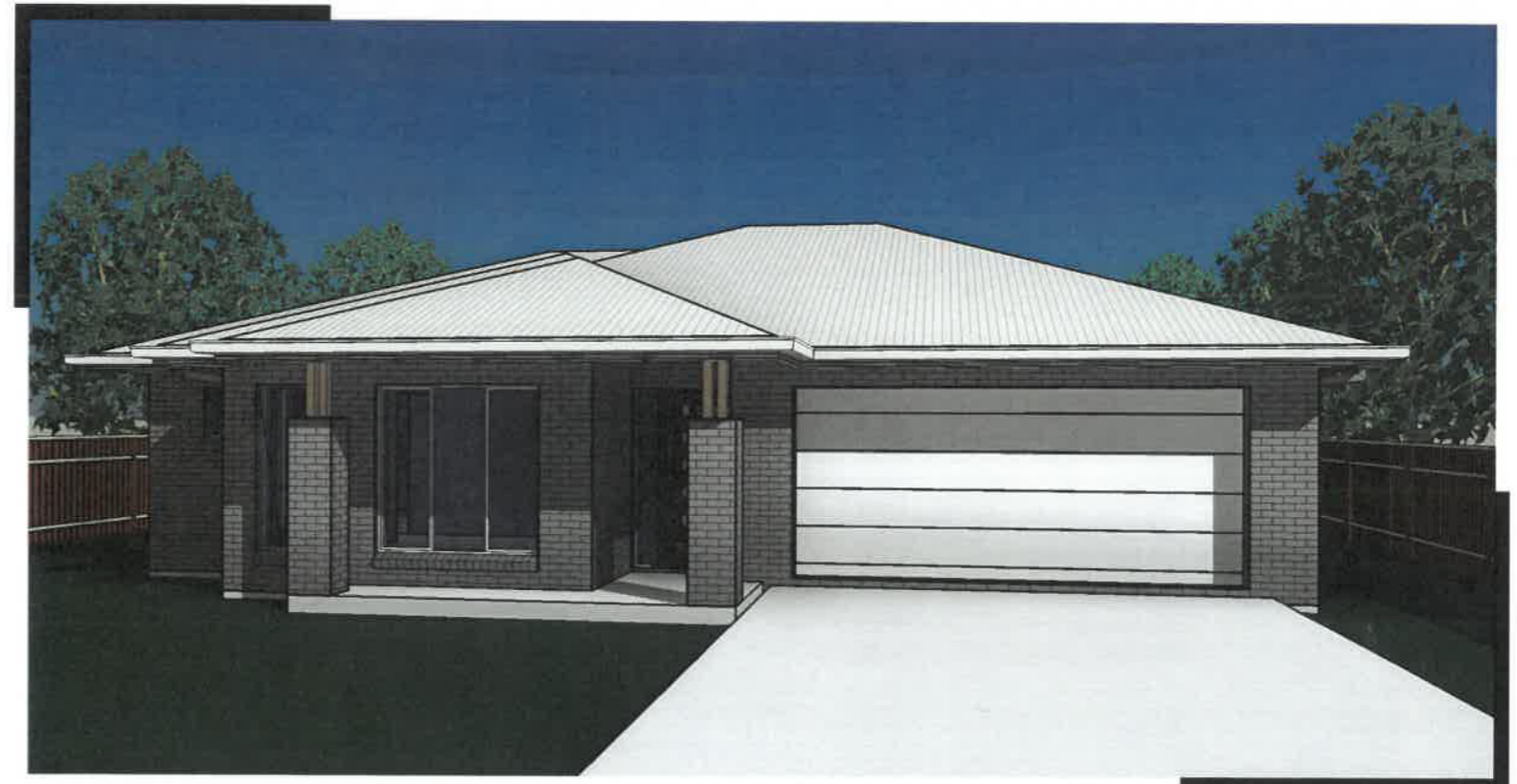
DRAWING LIST

DRAWING No.	DRAWING TITLE	DATE DRAWN	REVISION
01	TITLE PAGE	14/05/2024	2
02	BAL REQUIREMENTS	14/05/2024	2
03	NCC REQUIREMENTS	14/05/2024	2
04	SITE PLAN	14/05/2024	2
05	GROUND FLOOR PLAN	14/05/2024	2
06	BUILDING ELEVATIONS	14/05/2024	2
07	BUILDING ELEVATIONS	14/05/2024	2
08	BUILDING SECTIONS	14/05/2024	2
09	LIGHTING & ELECTRICAL PLAN	14/05/2024	2
10	CONCRETE FLOOR PLAN	14/05/2024	2
11	FLOOR COVERING	14/05/2024	2
12	WET AREA ELEVATIONS	14/05/2024	2
13	WET AREA ELEVATIONS	14/05/2024	2
14	WET AREA ELEVATIONS	14/05/2024	2
15	BUILDING DETAILS	14/05/2024	2
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17	BUILDING DETAILS	14/05/2024	2

LEGEND

CJ	CONSTRUCTION JOINT
DP	DOWNPIPE
FP	FIRE PLACE
FW	FLOOR WASTE
HWS	HOT WATER SYSTEM
AC	AIR CONDITIONING
PS	PLUMBING STACK/DUCT
SP	STEEL POST
TBC	TO BE CONFIRMED
RL	RELATIVE LEVEL
AHD	AUSTRALIAN HEIGHT DATUM
CSD	CAVITY SLIDING DOOR
OHC	OVER HEAD CUPBOARD
FG	FIXED GLASS
FSR	FLOOR SPACE RATIO
LB	LOAD BEARING
NGL	NATURAL GROUND LINE
UBO	UNDER BENCH OVEN
WO	WALL OVEN
DW	DISHWASHER
MW	MICROWAVE
WM	WASHING MACHINE
WIR	WALK-IN ROBE
SD	SLIDING GLASS DOOR
AAW	ALUMINIUM AWNING WINDOW
ADH	ALUMINIUM DOUBLE HUNG WINDOW
AAW	ALUMINIUM AWNING WINDOW
ALW	ALUMINIUM LOUVRE WINDOW
BCA	BUILDING CODE OF AUSTRALIA
AS	AUSTRALIAN ST&ARDS

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATLEY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER VARIATIONS MUST BE OWNED AND SIGNED BY THE OWNER AND ANY FURTHER VARIATIONS MUST BE OWNED AND SIGNED BY THE BUILDER SIGNER



REPRODUCED IN WHOLE OR IN PART WITH OUT THE WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

CLIENT:	PROJECT: PROPOSED NEW RESIDENCE	PAGES: 01 OF 17	SHEET SIZE: A3	FLOOR AREAS:	REV: 1	DETAILS: PRELIMINARY ISSUE	DATE: 14/05/2024
DRAWING TITLE:	LOT 01 TP 130747D	JOB NO: 220428		LIVING 226.82 m ²	2	PRELIMINARY ISSUE	16/05/2024
TITLE PAGE	8916 PRINCES HIGHWAY	DRAWN: TJ		GARAGE 37.21 m ²			
	PANMURE VIC 3265	DATE: 14/05/2024		ALFRESCO 18.65 m ²			
				PORCH 5.77 m ²			
				288.45 m ²			

BAL 12.5 REQUIREMENTS AS PER AS3959-2018

5.1 GENERAL

A building assessed in Section 2 as being BAL-12.5 shall conform with Section 3 and Clauses 5.2 to 5.8. Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 5.2 to 5.8 (see Clause 3.8).

NOTE: BAL-12.5 is primarily concerned with protection from ember attack and radiant heat up to and including 12.5 kW/m² where the site is less than 100 m from the source of bushfire attack.

5.2 SUB-FLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor support where the subfloor space is enclosed with—

- a wall that conforms with Clause 5.4; or
- a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
- a combination of items (a) and (b).

NOTE: This requirement applies to the subject building only and not to verandas, decks, steps, ramps and landings (see Clause 5.7).

CS.2 Combustible materials stored in the subfloor space may be ignited by embers and cause an impact to the building.

5.3 FLOORS

5.3.1 General

This Standard does not provide construction requirements for concrete slabs on the ground.

5.3.2 Elevated floors

5.3.2.1 Enclosed subfloor space

This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with—

- a wall that conforms with Clause 5.4; or
- a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
- a combination of items (a) and (b) above.

5.3.2.2 Unenclosed subfloor space

Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following:

(a) Materials that conform with the following:

(i) Bearers and joists shall be—

- non-combustible; or
- bushfire-resisting timber (see Appendix F); or
- a combination of items (A) and (B).

(ii) Flooring shall be—

- non-combustible; or
- bushfire-resisting timber (see Appendix F); or
- timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; or
- a combination of any of items (A), (B) or (C); or
- A system conforming with AS 1530.8.1.

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

5.4 WALLS

5.4.1 General

The exposed components of an external wall that are less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle of less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D) shall be one of the following:

(a) Non-combustible material including the following provided the minimum thickness is 90 mm:

(i) Full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone.

(ii) Precast or in situ walls of concrete or aerated concrete.

(iii) Earth wall including mud brick; or

(b) Timber logs of a species with a density of 680 kg/m³ or greater at a 12% moisture content; of a minimum nominal overall thickness of 90 mm and a minimum thickness of 70 mm (see Clause 3.11); and gauge planed; or

(c) Cladding that is fixed externally to a timber-framed or a steel-framed wall and is—

- non-combustible material; or
- fibre-cement a minimum of 6 mm in thickness; or
- bushfire-resisting timber (see Appendix F); or
- a timber species as specified in Paragraph E1, Appendix E; or
- a combination of any of items (i), (ii), (iii) or (iv); or

(d) A combination of any of items (a), (b) or (c).

This Standard does not provide construction requirements for the exposed components of an external wall that are 400 mm or more from the ground or 400 mm or more above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall.

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All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed.

5.4.3 Vents and weepholes

Except for exclusions provided in Clause 3.6, vents and weepholes in external walls shall be screened with a mesh made of corrosion-resistant steel, bronze or aluminium.

5.5 EXTERNAL GLAZED ELEMENTS, ASSEMBLIES AND DOORS

5.5.1 Bushfire shutters

Where fitted, bushfire shutters shall conform with Clause 3.7 and be made from—

- non-combustible material; or
- a timber species as specified in Paragraph E1, Appendix E; or
- bushfire-resisting timber (see Appendix F); or
- a combination of any of items (a), (b) or (c).

5.5.2 Screens for windows and doors

Where fitted, screens for windows and doors shall have a mesh or perforated sheet made of corrosion-resistant steel, bronze or aluminium.

The frame supporting the mesh or perforated sheet shall be made from—

- metal; or
- bushfire-resisting timber (see Appendix F); or
- a timber species as specified in Paragraph E2, Appendix E.

5.5.3 Windows and sidelights

Window assemblies shall:

- Be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 5.5.1; or
- Be completely protected externally by screens that conform with Clause 3.8 and Clause 5.5.2.

CS.5.3 For Clause 5.5.3(b), the screening needs to be applied to cover the entire assembly, that is including framing, glazing, sash, sill and hardware.

(c) Conform with the following:

(i) **Frame material** For window assemblies less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), window frames and window joinery shall be made from one of the following:

- Bushfire-resisting timber (see Appendix F); or
- A timber species as specified in Paragraph E2, Appendix E; or
- Metal; or
- (D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

There are no specific restrictions on frame material for all other windows.

- Hardware** There are no specific restrictions on hardware for windows.
- Glazing** Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), this glazing shall be Grade A safety glass a minimum of 4 mm in thickness or glass blocks with no restriction on glazing methods.
- NOTE:** Where double-glazed assemblies are used above, the requirements apply to the external pane of the glazed assembly only. For all other glazing, annealed glass may be used in accordance with AS 1288.

(iv) **Seals and weather strips** There are no specific requirements for seals and weather strips at this BAL level.

(v) **Screens** The openable portions of windows shall be screened internally or externally with screens that conform with Clause 3.8 and Clause 5.5.2.

CS.5.3 For Clause 5.5.3(c), screening to openable portions of all windows is required in all BALs to prevent the entry of embers to the building when the window is open.

For Clause 5.5.3(c)(v), screening of the openable and fixed portions of some windows is required to reduce the effects of radiant heat on annealed glass and has to be externally fixed.

For Clause 5.5.3(c)(vi), if the screening is required only to prevent the entry of embers, the screening may be fitted externally or internally.

5.5.4 Doors—Side-hung external doors (including French doors, panel fold and bi-fold doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall—

- be completely protected by bushfire shutters that conform with Clause 3.7 and Clause 5.5.1; or
- be completely protected externally by screens that conform with Clause 3.8 and Clause 5.5.2; or
- conform with the following:

(i) **Door panel material** Materials shall be—

- non-combustible; or
- solid timber, laminated timber or reconstituted timber, having a minimum thickness of 35 mm for the first 400 mm above the threshold; or
- hollow core, solid timber, laminated timber or reconstituted timber with a non-combustible kickplate on the outside for the first 400 mm above the threshold; or
- hollow core, solid timber, laminated timber or reconstituted timber protected externally by a screen that conforms with Clause 5.5.2; or
- for fully framed glazed door panels, the framing shall be made from metal or bushfire resisting timber (see Appendix F) or a timber species as specified in Paragraph E2, Appendix E or uPVC.

(ii) **Door frame material** Door frame materials shall be—

- bushfire resisting timber (see Appendix F); or
- a timber species as specified in Paragraph E2 of Appendix E; or
- metal; or
- metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

(iii) **Hardware** There are no specific requirements for hardware at this BAL level.

(iv) **Glazing** the glazing shall be Grade A safety glass a minimum of 4 mm in thickness, or glass blocks with no restriction on glazing methods.

NOTE: Where double glazed units are used the above requirements apply to the external face of the window assembly only.

(v) **Seals and weather strips** Weather strips, draft excluders or draft seals shall be installed.

(vi) **Screens** There are no requirements to screen the openable part of the door at this BAL level.

(vii) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.

5.5.5 Doors—Sliding doors

Sliding doors shall—

- be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 5.5.1; or
- be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2; or
- conform with the following:

(i) **Frame material** The material for door frames, including fully framed glazed doors, shall be—

- bushfire-resisting timber (see Appendix F); or
- A timber species as specified in Paragraph E2, Appendix E; or
- metal; or
- metal-reinforced uPVC and the reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

(ii) **Hardware** There are no specific requirements for hardware at this BAL level.

(iii) **Glazing** Where doors incorporate glazing, the glazing shall be grade A safety glass a minimum of 4 mm in thickness.

(iv) **Seals and weather strips** There are no specific requirements for seals and weather strips at this BAL level.

- Screens** There is no requirement to screen the openable part of the sliding door at this BAL level.
- Sliding panels** Sliding panels shall be tight-fitting in the frames.

5.5.6 Doors—Vehicle access doors (garage doors)

The following applies to vehicle access doors:

(a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from—

- non-combustible material; or
- bushfire-resisting timber (see Appendix F); or
- fibre-cement sheet a minimum of 6 mm in thickness; or
- a timber species as specified in Paragraph E1, Appendix E; or
- a combination of any of items (i), (ii), (iii) or (iv).

(b) All vehicle access doors shall be protected with suitable weather strips, draught excluders, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.

NOTES:

- Refer to AS/NZS 4505 for door types.
- Gaps of door edges or building elements should be protected as per Section 3.

CS.5.6(b) These guide tracks do not provide a direct passage for embers into the building.

(c) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.

5.6 ROOFS (INCLUDING PENETRATIONS, EAVES, FASCIAS AND GABLES, AND GUTTERS AND DOWNPIPES)

5.6.1 General

The following applies to all types of roofs and roofing systems:

- Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.
- The roof/wall and roof/roof junction shall be sealed or otherwise protected in accordance with Clause 3.8. Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and, made of corrosion-resistant steel, bronze or aluminium.
- Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need not be screened externally.

5.6.2 Tiled roofs

Tiled roofs shall be fully sarked. The sarking shall—

(a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;

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- cover the entire roof area including ridges and hips; and
- extend into gutters and valleys.

5.6.3 Sheet roofs

Sheet roofs shall—

- be fully sarked in accordance with Clause 5.6.2, except that foil-backed insulation blankets may be installed over the battens; or
- have any gaps sealed at the fascia or wall line, hips and ridges by—
 - a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or
 - mineral wool; or
 - other non-combustible material; or
 - a combination of any of items (i), (ii) or (iii).

CS.6.3 Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

5.6.4 Veranda, carport and awning roof

The following applies to veranda, carport and awning roofs:

- A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 5.6.1 to 5.6.6.
- A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] conforming with Clause 5.4 shall have a non-combustible roof covering, except where the roof covering is a translucent or transparent material.

NOTE: There is no requirement to line the underside of a veranda, carport or awning roof that is separated from the main roof space.

5.6.5 Roof penetrations

The following applies to roof penetrations:

- Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors or the like, shall be sealed. The material used to seal the penetration shall be non-combustible. Openings in vented roof lights, roof ventilators or vent pipes shall conform with Clause 3.6 and be made of corrosion-resistant steel, bronze or aluminium. This requirement does not apply to a room sealed gas appliance. **NOTE:** A gas appliance designed such that air for combustion does not enter from, or combustion products enter into, the room in which the appliance is located. In the case of gas appliance flues, ember guards shall not be fitted. **NOTE:** AS/NZS 5601 contains requirements for gas appliance flue systems and cowls. Advice can be obtained from manufacturers and State and Territory gas technical regulators.

All overhead glazing shall be Grade A safety glass conforming with AS 1288. Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, conforming with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass of minimum 4 mm in thickness shall be used in the outer pane of the IGU.

- Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index not exceeding five.
- Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- Vent pipes made from PVC are permitted.
- Eaves lighting shall be adequately sealed and not compromise the performance of the element.

5.6.6 Eaves linings, fascias and gables

The following applies to eaves linings, fascias and gables:

- Gables shall conform with Clause 5.4.
- Eaves penetrations shall be protected in the same way as roof penetrations, as specified in Clause 5.6.5.
- Eaves ventilation openings shall be fitted with ember guards in accordance with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.

Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds. This Standard does not provide construction requirements for fascias, bargeboards and eaves linings.

5.6.7 Gutters and downpipes

This Standard does not provide material requirements for—

- gutters, with the exception of box gutters; and
- downpipes.

If installed, gutter and valley leaf guards shall be non-combustible. Box gutters shall be non-combustible and flashed at the junction with the roof with non-combustible material.

5.7 VERANDAS, DECKS, STEPS AND LANDINGS

5.7.1 General

Decking may be spaced.

There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

HYPERLINK "<http://www.standards.org.au/CS.7.7> Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice); however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0 mm–5 mm during service. It should be noted that recent research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacing of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber deck.

5.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings

5.7.2.1 Materials to enclose a subfloor space

This Standard does not provide construction requirements for the materials used to enclose a subfloor space except where those materials are less than 400 mm from the ground. Where the materials used to enclose a subfloor space are less than 400 mm from the ground, they shall conform with Clause 5.4.

5.7.2.2 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

5.7.2.3 Framing

This Standard does not provide construction requirements for the framing of verandas, pergolas, decks, ramps or landings (i.e. bearers and joists).

5.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings

This Standard does not provide construction requirements for decking, stair treads and the trafficable surfaces of ramps and landings that are more than 300 mm from a glazed element. Decking, stair treads and the trafficable surfaces of ramps and landings less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck

- non-combustible material; or
- bushfire-resisting timber (see Appendix F); or
- a timber species as specified in Paragraph E1, Appendix E; or
- uPVC; or
- a combination of any of items (a), (b), (c) or (d).

5.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings

5.7.3.1 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

5.7.3.2 Framing

5.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings

This Standard does not provide construction requirements for decking, stair treads and the trafficable surfaces of ramps and landings that are more than 300 mm from a glazed element. Decking, stair treads and the trafficable surfaces of ramps and landings less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from—

- non-combustible material; or
- bushfire-resisting timber (see Appendix F); or
- a timber species as specified in Paragraph E1, Appendix E; or
- a combination of any of items (a), (b) or (c) above.

5.7.4 Balustrades, handrails or other barriers

This Standard does not provide construction requirements for balustrades, handrails and other barriers.

5.7.5 Veranda posts

Veranda posts—

- shall be timber mounted on galvanized mounted shoes or stirrups with a clearance of not less than 75 mm above the adjacent finished ground level; or
- less than 400 mm (measured vertically) from the surface of the deck or ground (see Figure D2, Appendix D) shall be made from—
 - non-combustible material; or
 - bushfire-resisting timber (see Appendix F); or
 - a timber species as specified in Paragraph E1, Appendix E; or
 - a combination of any of items (a) or (b).

5.8 WATER AND GAS SUPPLY PIPES

Above-ground, exposed water supply pipes shall be metal. External gas pipes and fittings above ground shall be of steel or copper construction having a minimum wall thickness in accordance with gas regulations or 0.9 mm whichever is the greater. The metal pipe shall extend a minimum of 400 mm within the building and 100 mm below ground.

NOTE: Refer to State and Territory gas regulations, AS/NZS 5601.1 and AS/NZS 4645.1.

REPRODUCED IN WHOLE OR IN PART WITH OUT THE WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

CLIENT: [REDACTED]	PROJECT: PROPOSED NEW RESIDENCE LOT 01 TP 130747D 8916 PRINCES HIGHWAY PANMURE VIC 3265	PAGES: 02 OF 17	SHEET SIZE: A3	FLOOR AREAS:	REV: 1 2	DETAILS: PRELIMINARY ISSUE PRELIMINARY ISSUE	DATE: 14/05/2024 16/05/2024
DRAWING TITLE: BAL REQUIREMENTS							

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER COSTS INCURRED.

OWNER SIGN: _____

OWNER SIGN: _____

BUILDER SIGN: _____

GENERAL REQUIREMENTS

DRAWINGS PREPARED FROM INFORMATION SUPPLIED BY THE OWNER &/OR BUILDER
ALL DIMENSIONS ARE IN MILLIMETRES & SHALL BE VERIFIED ON SITE

DO NOT SCALE FROM DRAWING

ALL DIMENSIONS & ALL FLOOR LEVELS PROVIDED ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION

IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY DOCUMENTS AS TO THEIR ACCURACY & SUITABILITY

THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS

ALL STRUCTURAL ELEMENTS ARE TO BE DESIGNED BY A PRACTICING STRUCTURAL ENGINEER

ALL METAL FITTINGS USED IN STRUCTURAL TIMBER JOINTS & BRACING MUST HAVE CORROSION PROTECTION.

AUTOCLAVED AERATED CONCRETE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PRODUCT SPECIFICATION

NCC REFERS TO THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA - VOLUME 2 (NCC 2022)

ABC B REFERS TO AUSTRALIAN BUILDING CODES BOARD, (ABC B)

ALL CONSTRUCTION WORK MUST BE COMPLETED STRICTLY IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC 2022) VOLUME 2, NCC VOLUME 3 'PLUMBING CODE OF AUSTRALIA' & THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS ST&ARD.

STATUTORY REQUIREMENTS

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC, CONDITIONS IMPOSED BY THE LOCAL AUTHORITY & THE COMMITMENTS OUTLINED IN THE RELEVANT BASIX CERTIFICATE &/OR NATHER'S ASSESSMENT.

THE BUILDER IS TO COMPLY WITH THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER THE BUILDING WORKS & THE PROVISIONS OF THE HOME BUILDING ACT

PRIOR TO THE COMMENCEMENT OF BUILDING WORK, THE BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF SUBCONTRACTORS, WHERE THE LOCAL AUTHORITY REQUIRES THE TEMPORARY TOILET TO BE CONNECTED TO THE SEWER MAINS, THE ADDITIONAL COST SHALL BE BORNE BY THE OWNER. ON COMPLETION, THE BUILDER SHALL REMOVE THE AMENITY

NCC REQUIREMENTS - SECTION H CLASS 1 & 10 BUILDINGS.

PART H1 STRUCTURE:

A CLASS 1 OR 10 BUILDING'S STRUCTURAL RELIABILITY & RESISTANCE SHALL COMPLY WITH **H1P1** OF NCCA CLASS 1 OR CLASS 10 BUILDING MUST BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2 (**PARTS 2.1 & 2.2**)

OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS, OR THE RELEVANT PROVISIONS OF **H1D2, H1D3-H1D12** OF NCC FOR STRUCTURAL PROVISIONS OR ANY COMBINATION THEREOF
ALL SITE PREPARATION & EARTHWORKS SHALL BE IN ACCORDANCE WITH THE ENGINEER'S DETAILS & **H1D3** OF NCC & SECTION 3 (**PARTS 3.1-3.4**) & SECTION 4 (**PART 4.2.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

ALL FOOTINGS & SLABS, EXCAVATIONS & UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE ENGINEER'S DETAILS & **H1D4** & **NSW H1D4(1)** & **H2D3** OF NCC & SECTION 4 (**PARTS 4.1-4.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

ALL MASONRY SHALL COMPLY WITH **H1D5** & **H2D4** OF NCC & SECTION 5 (**PARTS 5.1-5.7**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS. APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS

TIMBER FRAMEWORK SHALL COMPLY WITH **H1D6** OF NCC, **AS1694** & SECTION 6 (**PARTS 6.1-6.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS

STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION & **H1D6** OF NCC & SECTION 6 (**PARTS 6.16.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS

ALL ROOF CLADDING & WALL CLADDING SHALL COMPLY WITH **H1D7** & **H2D6** OF NCC & SECTION 7 (**PARTS 7.1-7.5**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS. & BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS

ALL GLAZING SHALL COMPLY WITH **H1D8** & **H2D7** OF NCC & SECTION 8 (**PARTS 8.1-8.4**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS

A CLASS 1 BUILDING CONSTRUCTED IN A FLOOD HAZARD AREA SHALL COMPLY WITH **H1P2** & **H1D10** OF NCC & CONSTRUCTED IN ACCORDANCE WITH THE AUSTRALIAN BUILDING CODES BOARD (ABC B) ST&ARD FOR CONSTRUCTION OF BUILDINGS IN FLOOD HAZARD AREAS

ATTACHMENT OF FRAMED DECKS & BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING PLATE SHALL BE IN ACCORDANCE WITH **H1D11** OF NCC & SECTION 12 (**PART 12.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS

PILED FOOTINGS TO BE IN ACCORDANCE WITH **H1D12** OF NCC & IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS.

PART H2 DAMP & WEATHERPROOFING:

RAINWATER MANAGEMENT, INCL. SURFACE WATER SHALL COMPLY WITH PART **H2P1** OF NCC

WEATHERPROOFING OF A BUILDING SHALL COMPLY WITH PART **H2P2** OF NCC

RISING DAMP SHALL COMPLY WITH PART **H2P3** OF NCC & PART **NSW H2P3(1) & (2)**

DRAINAGE FOR SWIMMING POOLS SHALL COMPLY WITH PART **H2P4** OF NCC

DRAINAGE SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH PART **H2D2** OF NCC & SECTION 3 (**PART 3.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS

SUBFLOOR VENTILATION TO BE IN ACCORDANCE WITH **H2D5** & **H2P3** OF NCC & SECTION 5 (**PART 5.7**) & SECTION 6 (**PART 6.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS. EXTERNAL WATERPROOFING FOR ROOFING SYSTEMS ON FLAT ROOFS, ROOF TERRACES, BALCONIES & TERRACES & OTHER SIMILAR HORIZONTAL SURFACES LOCATED ABOVE INTERNAL SPACES OF A BUILDING SHALL COMPLY WITH **H2D8** OF NCC

PART H3 FIRE SAFETY:

A CLASS 1 BUILDING MUST BE PROTECTED FROM THE SPREAD OF FIRE IN ACCORDANCE WITH **H3P1** OF NCC

ALL OCCUPANTS OF A CLASS 1 BUILDING MUST BE PROVIDED WITH AUTOMATIC WARNING ON THE DETECTION OF SMOKE IN ACCORDANCE WITH **H3P2**.

CLASS 1 & 10 BUILDINGS WITHIN THE BUSHFIRE ZONE MUST BE CONSTRUCTED WITH MATERIALS CONTAINING FIRE HAZARD PROPERTIES & NON-COMBUSTIBLE ELEMENTS IN ACCORDANCE WITH **H3D2** OF NCC

FIRE SEPARATION OF EXTERNAL WALLS MUST COMPLY WITH **H3D3** OF NCC & **PART 9.2** OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

FIRE PROTECTION OF SEPARATING WALLS & FLOORS MUST COMPLY WITH **H3D4** OF NCC & **PART 9.3** OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS. FIRE SEPARATION OF GARAGE-TOP DWELLINGS MUST COMPLY WITH **H3D5** & **NSWH3D5** OF NCC & SECTION 9 (**PARTS 9.3 & 9.4**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

SMOKE ALARMS & EVACUATION LIGHTING TO BE INSTALLED IN ACCORDANCE WITH **H3D6** OF NCC & SECTION 9 (**PART 9.5**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

PART H4 HEALTH & AMENITY:

WET AREAS TO BE CONSTRUCTED & WEATHERPROOFED IN ACCORDANCE WITH **H4D2, H2P1 & H2D8** OF NCC & SECTION 10 (**PART 10.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

MATERIALS & INSTALLATION OF WET AREA COMPONENTS & SYSTEMS MUST COMPLY WITH **H4D3** OF NCC & SECTION 10 (**PART 10.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

ROOM HEIGHTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH **H4D4** & **H4P2** OF NCC & SECTION 10 (**PART 10.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

HEALTH & AMENITY FACILITIES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH **H4D5** & **H4P3** OF NCC & SECTION 10 (**PART 10.4**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

LIGHT SHALL COMPLY WITH **H4D6** & **H4P4** OF NCC & SECTION 10 (**PART 10.5**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

ARTIFICIAL LIGHTING IS TO BE INSTALLED IN ACCORDANCE WITH **H4D6** OF NCC & SECTION 10 **PART 10.5.2** TO ANY SANITARY COMPARTMENT, BATHROOM, SHOWER ROOM, AIRLOCK & LAUNDRIES IF NATURAL LIGHTING IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF **PART 10.5.1** IS NOT AVAILABLE

VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH **H4D7** & **H4P5** OF NCC & SECTION 10 (**PART 10.6**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS. & INSTALLED TO MANUFACTURERS SPECIFICATIONS

SOUND INSULATION IS TO BE INSTALLED IN ACCORDANCE WITH **H4D8** & **H4P6** OF NCC & SECTION 10 (**PART 10.7**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS. & INSTALLED TO MANUFACTURERS SPECIFICATIONS

CONDENSATION & WATER VAPOUR MANAGEMENT SHALL COMPLY WITH **H4D9** & **H4P7** OF NCC & SECTION 10 (**PART 10.8**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

PART H5 SAFE MOVEMENT & ACCESS:

CLASS 1 & 10 BUILDINGS MUST BE CONSTRUCTED IN ACCORDANCE WITH **H5P1** OF NCC

STAIRWAYS & RAMPS MUST BE CONSTRUCTED IN ACCORDANCE WITH **H5D2** OF NCC & SECTION 11 (**PART 11.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

BARRIERS & H&RAILS MUST BE INSTALLED IN ACCORDANCE WITH **H5D3** & **H5P2** OF NCC & SECTION 11 (**PART 11.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

PART H6 ENERGY EFFICIENCY

THERMAL PERFORMANCE OF A CLASS 1 & 10 BUILDING SHALL COMPLY WITH **H6D2** & **H6P1** OF NCC & SECTION 13 (**PARTS 13.2,13.5**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

THE ENERGY VALUE &/OR USAGE OF A BUILDING'S DOMESTIC SERVICES MUST COMPLY WITH **H6D2** & **H6P2** OF NCC & SECTION

13 (**PARTS 13.6-13.7**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

PART H7 ANCILLARY PROVISIONS & ADDITIONAL CONSTRUCTION REQUIREMENTS

SWIMMING POOLS, INCLUDING POOL DEPTHS, SAFETY BARRIERS & WATER RETICULATION SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH **H7D2** & **NSWH7D2(1)** & **H7P1** & **H7P2** OF NCC. SWIMMING POOL DRAINAGE IS TO COMPLY WITH **H2P4** OF NCC

ALL CLASS 1 & 10 BUILDINGS LOCATED IN ALPINE AREAS MUST COMPLY WITH **H7D3** & **H7P4** OF NCC & SECTION 12 (**PART 12.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

ALL CLASS 1 & 10 BUILDINGS LOCATED IN BUSHFIRE PRONE AREAS MUST COMPLY WITH **H7D4** & **NSWH7D4** & **H7P5**.

A PRIVATE BUSHFIRE SHELTER IS TO BE CONSTRUCTED IN ACCORDANCE WITH **H7P6** OF NCC FOR CLASS 10C BUILDINGS LOCATED IN A BUSHFIRE PRONE AREA ONLY

HEATING APPLIANCES, FIREPLACES, CHIMNEYS & FLUES ARE TO BE INSTALLED IN ACCORDANCE WITH **H7D5** & **H7P3** & SECTION 12 (PART 12.4) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

PART 10.8 CONDENSATION REQUIREMENTS

LOCATION	VENTILATION REQUIREMENT (mm ²)	PROPOSED METHOD
LOW LEVEL CALCULATION	2 X 16.87 X 7,000 = 236,180mm ²	BRADFORD EAVE VENT 35,000mm ²
HIGH LEVEL CALCULATION	16,870 X 5,000 = 84,350mm ²	BRADFORD WINDMASTER 62,500mm ²
KITCHEN EXHAUST FAN	40 L/S	DUCTED OUTSIDE
BATHROOM/MWC EXHAUST FAN	25 L/S	DUCTED OUTSIDE

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE ORDERED.

OWNER SIGNATURE
OWNER SIGNATURE
BUILDER SIGNATURE

REV:	DETAILS:	DATE:
1	PRELIMINARY ISSUE	14/05/2024
2	PRELIMINARY ISSUE	18/05/2024

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CLIENT:	PROJECT: PROPOSED NEW RESIDENCE	PAGES: 03 OF 17	SHEET SIZE: A3	FLOOR AREAS:	REV:	DETAILS:	DATE:
	LOT 01 TP 130747D 8916 PRINCES HIGHWAY PANMURE VIC 3265	JOB NO: 229420	DRAWN: TJ		1	PRELIMINARY ISSUE	14/05/2024
DRAWING TITLE: NCC REQUIREMENTS		DATE: 14/05/2024			2	PRELIMINARY ISSUE	18/05/2024

WIND CLASSIFICATION

N2

SLAB CLASSIFICATION

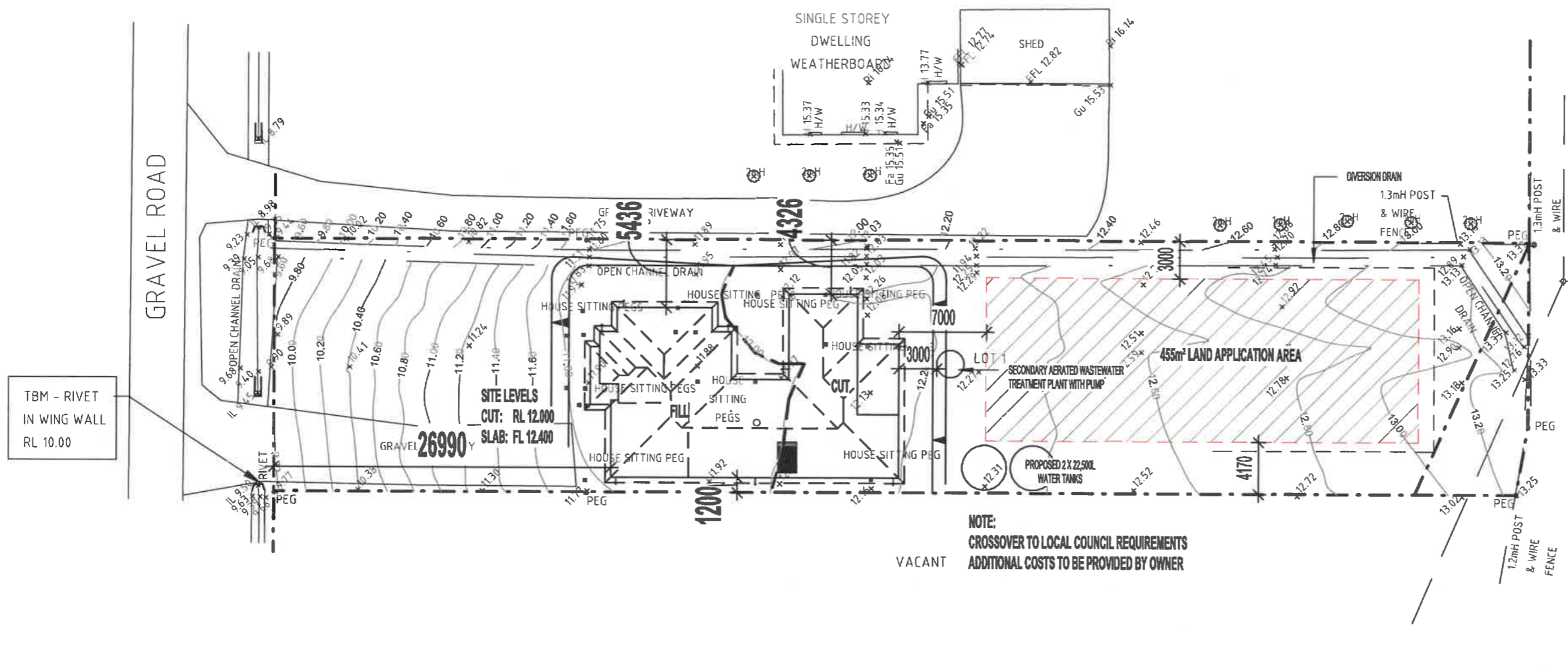
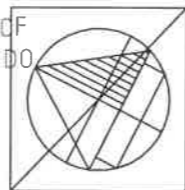
P

BUSHFIRE ATTACK LEVEL

12.5

IMPORTANT NOTE:

- THIS DRAWING DOES NOT SHOW OR REPRESENT THE LOCATION OF THE LEGAL TITLE BOUNDARY AND CANNOT BE RELIED UPON TO DO SO.



SITE PLAN

1:400

CONSTRUCTION TO BE IN ACCORDANCE TO BAL 12.5

SITE INFORMATION

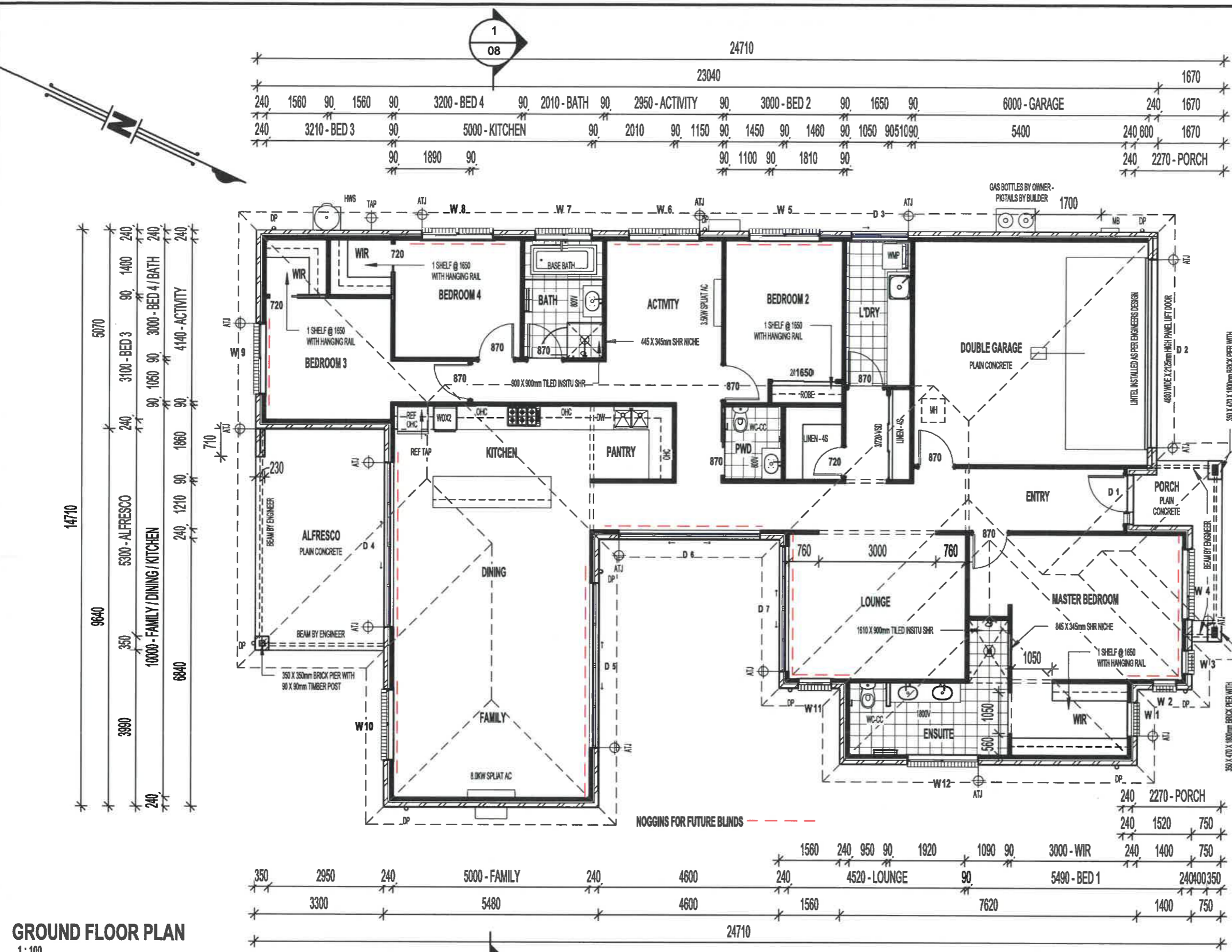
LOT -01
 PLAN -TP 130747D
 SITE AREA -2033m² approx
 SITE COVER -14.22%

WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PROVIDED.

OWNER SIGNED
 OWNER SIGNED
 BUILDER SIGNED

REPRODUCED IN WHOLE OR IN PART WITH OUT THE WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

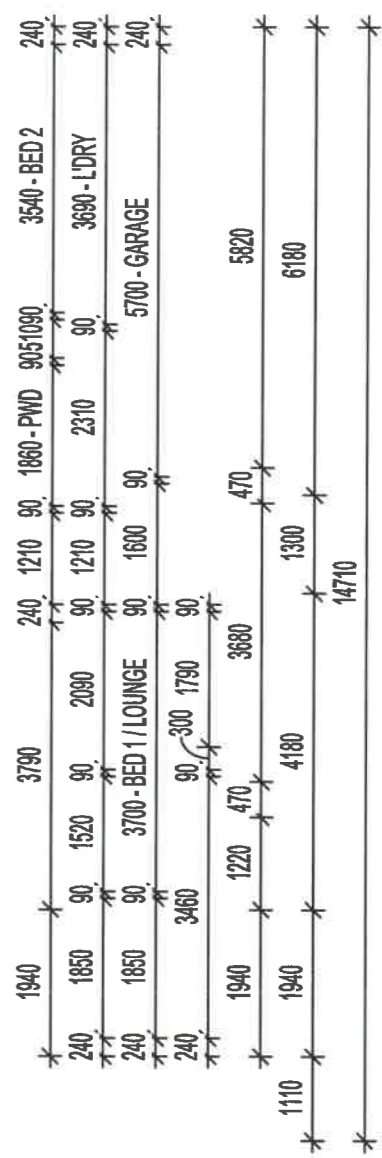
CLIENT:	PROJECT: PROPOSED NEW RESIDENCE	PAGES: 04 OF 17	SHEET SIZE: A3	FLOOR AREAS:	REV:	DATE:
DRAWING TITLE: SITE PLAN	LOT 01 TP 130747D 8916 PRINCES HIGHWAY PANMURE VIC 3265	JOB NO: 220420	DRAWN: TJ	LIVING 226.82 m² GARAGE 37.21 m² ALFRESCO 18.65 m² PORCH 5.77 m² 288.45 m²	1 PRELIMINARY ISSUE 2 PRELIMINARY ISSUE	14/05/2024 16/05/2024
		DATE: 14/05/2024				



GROUND FLOOR PLAN

1:100

CONSTRUCTION TO BE IN ACCORDANCE TO BAL 12.5



NOTE:
 DIMENSIONS ON DRAWINGS ARE DIMENSIONED TO THE STRUCTURAL TIMBER FRAME & DO NOT INDICATE THE FINISHED ROOM SIZE OR CEILING HEIGHT. ALLOWANCES OF UP TO & EVEN GREATER THAN 40mm FOR FINISHED ROOM SIZES MEASURED FROM PLASTER BOARD TO PLASTERBOARD FINISHED ROOM SIZES MEASURED FROM SKIRTING TO SKIRTING WITH ALLOWANCES OF UP TO & EVEN GREATER THAN 80mm. CEILING HEIGHTS ARE MEASURED FROM THE CONCRETE SLAB TO THE TIMBER TRUSS WITH ALLOWANCES OF UP TO 80mm TO FOR THE FINISHED CEILING HEIGHT

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER DELAYS TO THE PROJECT.
 OWNER SIGNED: [Redacted]
 OWNER SIGNED: [Redacted]
 BUILDER SIGNED: [Redacted]

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CLIENT:	PROJECT: PROPOSED NEW RESIDENCE	PAGES: 05 OF 17	SHEET SIZE: A3	FLOOR AREAS:	REV:	DETAIL:	DATE:
DRAWING TITLE: GROUND FLOOR PLAN	LOT 01 TP 130747D 8916 PRINCES HIGHWAY PANMURE VIC 3265	JOB NO: 220420	DRAWN: TJ	LIVING 226.82 m ²	1	PRELIMINARY ISSUE	14/05/2024
		DATE: 14/05/2024		GARAGE 37.21 m ²	2	PRELIMINARY ISSUE	16/05/2024
				ALFRESCO 18.65 m ²			
				PORCH 5.77 m ²			
				TOTAL 288.45 m ²			



NORTH EAST ELEVATION
1 : 100



INTERIOR ELEVATION - 1
1 : 100



SOUTH EAST ELEVATION
1 : 100

CONSTRUCTION TO BE IN ACCORDANCE TO BAL 12.5

- ARTICULATION (OR EXPANSION) JOINT SPACING MUST BE IN ACCORDANCE WITH AS4773.1 - 2015, AS4773.2 2015 & TECHNICAL NOTE 61 (AUG 2008) FOR ARTICULATED WALLING AND AS PER NCC BCA VOL 2 REQUIREMENTS. MARKED ATJ.
- GUTTERING AND DOWNPIPES TO BE INSTALLED AS PER NCC BCA VOL1 AND AS3500. OVERFLOW PROVISION TO BE INSTALLED AS REQUIRED.
- ROOF VENTILATION TO COMPLY WITH NCC BCA VOL2 PART 3.8.7.4
- SELECTED MASONRY BLOCKWORK TO NCC BCA VOL2 AND AS3700/4773
- GRADE EXTERNAL SURFACES AS PER NCC BCA PART 3.1.2.3 AND REFER TO ENGINEER PLANS
- MOTIFS TO GLAZED PANELS AS PER AS1288

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: _____
OWNER SIGNED: _____
BUILDER SIGNED: _____

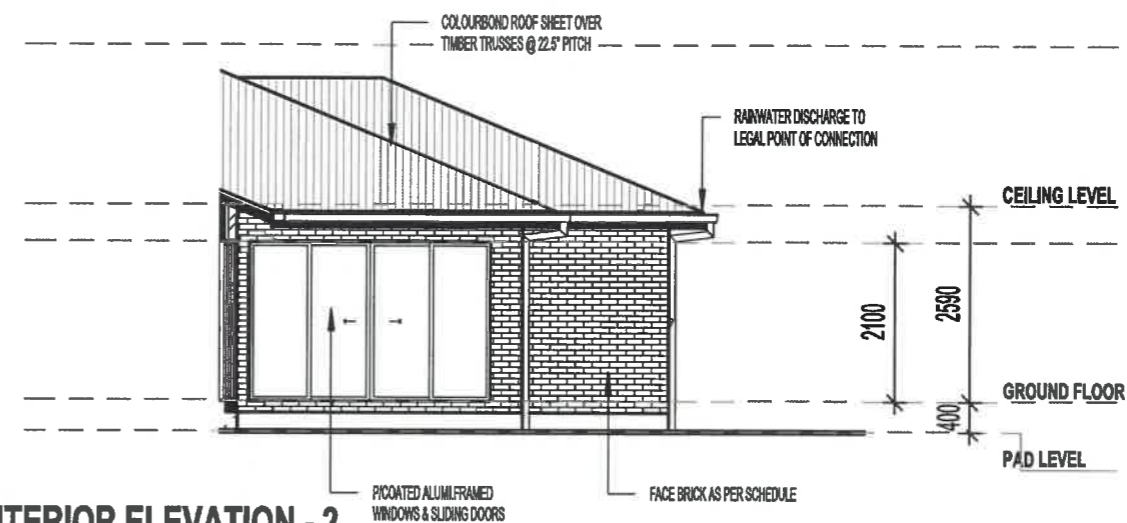
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CLIENT: _____ DRAWING TITLE: BUILDING ELEVATIONS	PROJECT: PROPOSED NEW RESIDENCE LOT 01 TP 130747D 8916 PRINCES HIGHWAY PANMURE VIC 3265	PAGES: 06 OF 17 SHEET SIZE: A3	FLOOR AREAS: LIVING 226.82 m ² GARAGE 37.21 m ² ALFRESCO 18.65 m ² PORCH 5.77 m ² 288.45 m²	REV: 1	DETAILS: PRELIMINARY ISSUE	DATE: 14/05/2024
		JOB NO: 229420		REV: 2	DETAILS: PRELIMINARY ISSUE	DATE: 16/05/2024
		DRAWN: TJ				
		DATE: 14/05/2024				



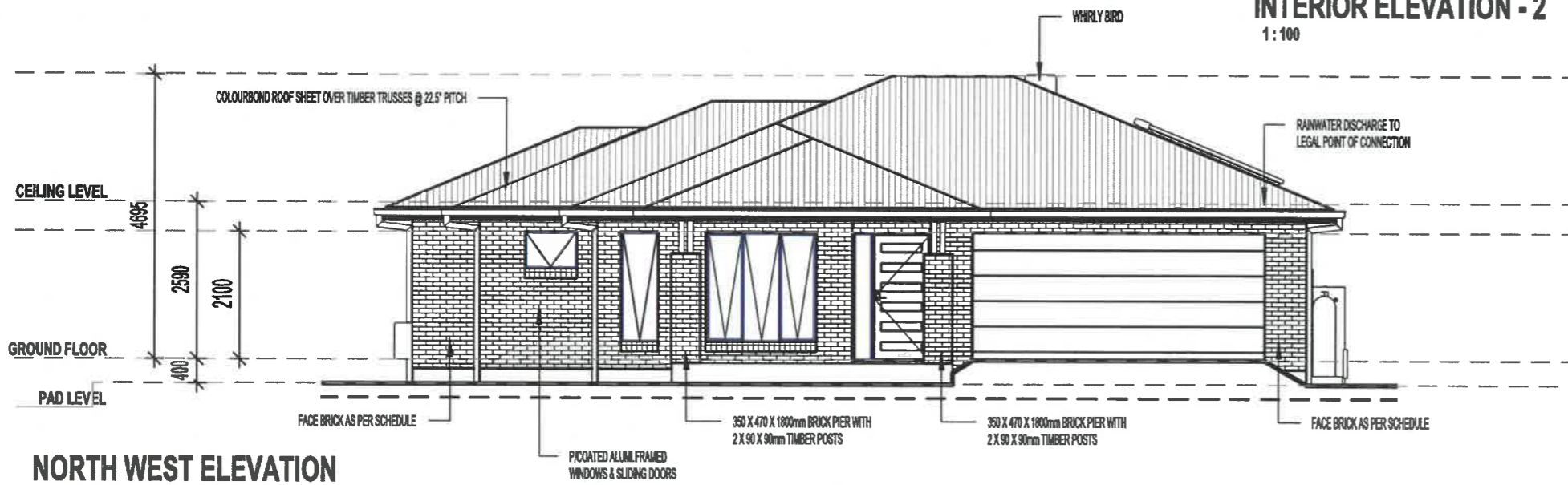
SOUTH WEST ELEVATION

1:100



INTERIOR ELEVATION - 2

1:100



NORTH WEST ELEVATION

1:100

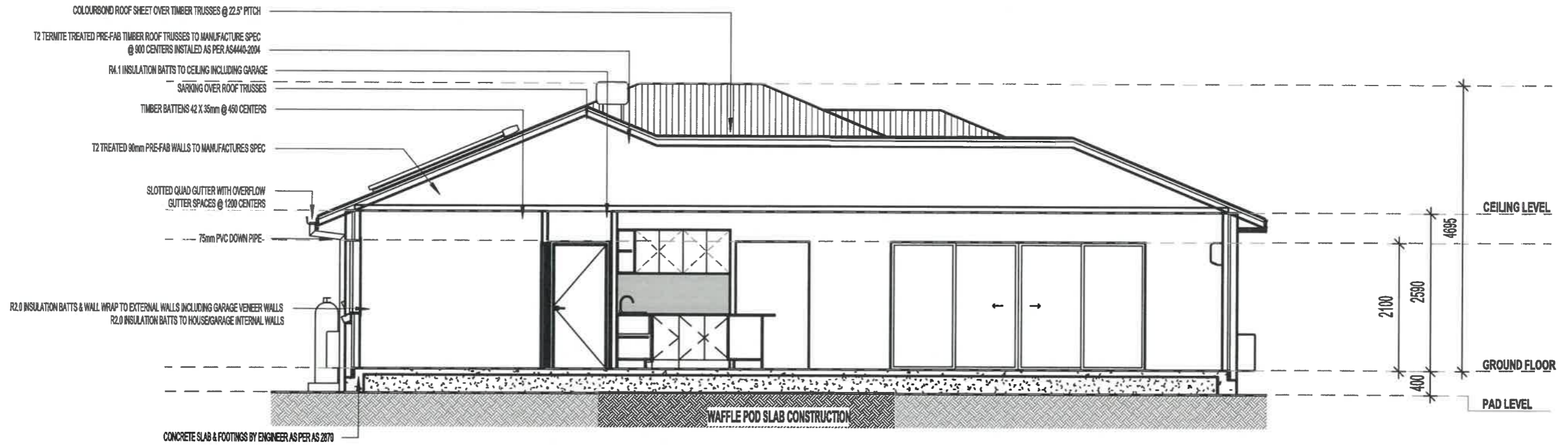
CONSTRUCTION TO BE IN ACCORDANCE TO BAL 12.5

- ARTICULATION (OR EXPANSION) JOINT SPACING MUST BE IN ACCORDANCE WITH AS4773.1-2015, AS4773.2 2015 & TECHNICAL NOTE 61 (AUG 2008) FOR ARTICULATED WALLING AND AS PER NCC BCA VOL 2 REQUIREMENTS. MARKED AT J.
- GUTTERING AND DOWNPIPES TO BE INSTALLED AS PER NCC BCA VOL 1 AND AS3500. OVERFLOW PROVISION TO BE INSTALLED AS REQUIRED.
- ROOF VENTILATION TO COMPLY WITH NCC BCA VOL 2 PART 3.8.7.4
- SELECTED MASONRY BLOCKWORK TO NCC BCA VOL 2 AND AS3700/4773
- GRADE EXTERNAL SURFACES AS PER NCC BCA PART 3.1.2.3 AND REFER TO ENGINEER PLANS
- MOTIFS TO GLAZED PANELS AS PER AS1288

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER COSTS.
 OWNER SIGNED: [Redacted]
 OWNER SIGNED: [Redacted]
 BUILDER SIGNED: [Redacted]

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CLIENT:	PROJECT: PROPOSED NEW RESIDENCE	PAGES: 07 OF 17	SHEET SIZE: A3	FLOOR AREAS:	REV:	DATE:
DRAWING TITLE: BUILDING ELEVATIONS	LOT 01 TP 130747D 8916 PRINCES HIGHWAY PANMURE VIC 3265	JOB NO: 220420	DRAWN: TJ	LIVING 226.82 m ² GARAGE 37.21 m ² ALFRESCO 18.65 m ² PORCH 5.77 m ² 288.45 m ²	1 PRELIMINARY ISSUE 2 PRELIMINARY ISSUE	14/05/2024 16/05/2024



SECTION S1
1:75

WINDOW SCHEDULE					
MARK	HEIGHT	WIDTH	TYPE	NOTE	GLAZING
1	600	850	AWNING		DOUBLE
2	1800	610	AWNING		DOUBLE
3	1800	610	AWNING		DOUBLE
4	1800	1810	AWNING		DOUBLE
5	1200	1810	AWNING		DOUBLE
6	957	1810	AWNING		DOUBLE
7	957	1450	AWNING	OBSCURE A GRADE SAFETY GLASS	DOUBLE
8	1200	1810	AWNING		DOUBLE
9	1200	1810	AWNING		DOUBLE
10	1800	1810	AWNING		DOUBLE
11	1800	850	AWNING		DOUBLE
12	957	1810	AWNING	OBSCURE A GRADE SAFETY GLASS	DOUBLE

DOOR SCHEDULE					
MARK	HEIGHT	WIDTH	TYPE	NOTES	GLAZING
1	2040	920		PMAD106 TIMBER DOOR WITH 300mm SIDELIGHT	
2	2100	4800		REMOTE PANEL LIFT GARAGE DOOR	
3	2100	1450		ALUM. FRAMED SLIDING DOOR	DOUBLE
4	2100	4200		ALUM. FRAMED BI-PART DOOR	DOUBLE
5	2100	4200		ALUM. FRAMED BI-PART DOOR	DOUBLE
6	2100	3600		ALUM. FRAMED BI-PART DOOR	DOUBLE
7	2100	3200		ALUM. FRAMED BI-PART DOOR	DOUBLE

WINDOW & GLAZED DOOR SCHEDULE
 WINDOWS BY: DOWEL WINDOWS & DOORS
 INTERNAL DOORS TO BE FLUSH PANEL @ 2040
 FLYSCREENS TO ALL OPENABLE WINDOWS

- NOTES:**
- LINTEL SIZES AS PER TRUSS & WALL FRAME MANUFACTURES SPECIFICATIONS IN ACCORDANCE WITH AS 1684-2006
 - LINTELS SUPPORTING CONCENTRATED LOADS SHALL BE DESIGNED IN ACCORDANCE WITH AS 1684-2004 & CONFIRMED WITH ENGINEERS DESIGN
 - MULTIPLE MEMBERS SHALL BE VERTICALLY NAIL-LAMINATED
 - LINTELS IN SKILLION OR GABLE END WALLS, NOT SUPPORTING LOADS SHALL BE DETERMINED AS PER AS1684-2006
 - MINIMUM BEARING LENGTH AT SUPPORTS SHALL BE 35mm

ALL WINDOWS & EXTERNAL DOORS SHALL BE WEATHER STRIPPED FOR THEIR ENTIRETY ALL GLAZING TO COMPLY WITH AS 1288 & AS 2047 WINDOWS WITH THE SAME 'U-VALUE & 'SHGC' VALUES AS OUTLINED ON THE ENERGY REPORT SHALL BE USED ONSITE

CONSTRUCTION TO BE IN ACCORDANCE TO BAL 12.5

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER COSTS.
 OWNER SIGNED: [REDACTED]
 OWNER SIGNED: [REDACTED]
 BUILDER SIGNED: [REDACTED]

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CLIENT:	PROJECT: PROPOSED NEW RESIDENCE	PAGES: 08 OF 17	SHEET SIZE: A3	FLOOR AREAS:		REV:	DATE:
DRAWING TITLE: BUILDING SECTIONS	LOT 01 TP 130747D 8916 PRINCES HIGHWAY PANMURE VIC 3265	JOB NO: 220429	DRAWN: TJ	LIVING	226.82 m ²	1	14/05/2024
				GARAGE	37.21 m ²	2	16/05/2024
				ALFRESCO	18.65 m ²		
				PORCH	5.77 m ²		
			DATE: 14/05/2024		288.45 m ²		

ELECTRICAL LEGEND

- DOUBLE GPO - 30
- DOUBLE GPO WITH USB - 0
- WATER PROOF DOUBLE GPO - 1
- CEILING MOUNTED PENDANT LIGHT - 0
- CEILING MOUNTED LIGHT - 0
- SINGLE GPO - 4
- WATERPROOF SINGLE GPO - 0
- LED LIGHTS - 45
- EXTRACTION FAN - 4
- SINGLE TUBE-FLUORO LIGHT - 0
- HARD WIRED SMOKE ALARM - 3
- TELEVISION POINT - 2
- TELEPHONE POINT - 1
- HEAT / 2-LIGHT / FAN - 0
- HEAT / 4-LIGHT / FAN - 0
- DATA POINT - 0
- EXTERNAL UP / DOWN LIGHTS - 0 CLIENT SUPPLIED
- SPOT LIGHT - 0
- GAS HEATING OUTLET - 0
- EVAPORATIVE COOLING OUTLET - 0
- CEILING FAN WITH LIGHT - 0
- CEILING FAN WITHOUT LIGHT - 0

GENERAL NOTES:
 METERBOX LOCATION TO BE CONFIRMED.
 THE POSITIONING OF ELECTRICAL OUTLETS & LIGHT SWITCHES, AS SHOWN, ARE INDICATIVE. LIMITATIONS IE. STUD POSITIONS.
 ALL ELECTRICAL OUTLETS & LIGHT SWITCH POSITIONS SHOULD BE CONFIRMED BY CLIENT. ALL WIRING & ELECTRICAL WORK IS TO BE IN ACCORDANCE WITH AS 3000
 AS3786-2014 SMOKE ALARMS TO BE HARDWIRED & INTERLINKED

PROVIDE A POWER POINT & LIGHT SWITCH FOR ROOF CAVITY LOCATED AT THE MANHOLE LOCATION.

ELECTRICAL LIGHT WATTAGE LIMIT AS PER BCA SECTION 3.12.5.5

DWELLING - 5 WATTS/ SQ.M ALLOWED PROPOSED

LIVING AREA	226.75m²	1133.80W	429W
-------------	----------	----------	------

GARAGE - 3 WATTS/ SQ.M

GARAGE	37.21m²	111.63W	22 W
--------	---------	---------	------

ALFRESCO / PORCH / VERANDA - 4 WATTS/ SQ.M

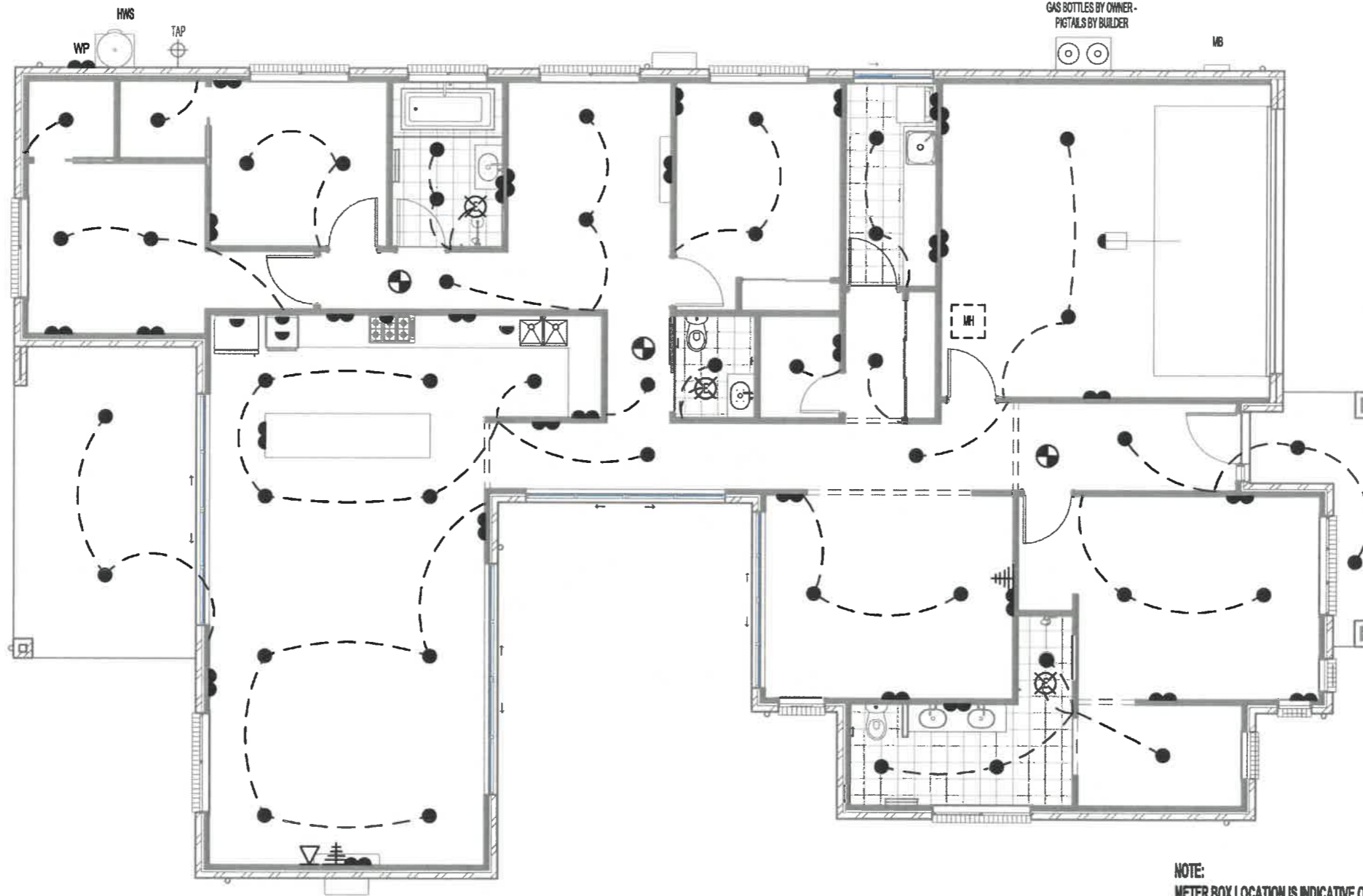
ALFRESCO	18.65m²	74.60W	22W
PORCH	5.77m²	23.08W	22W

ITEM	COUNT	WATTAGE	TOTAL
GE OMEGA OYSTER LIGHT	-	12 W	-
LED DOWNLIGHTS	45	11 W	495W
DOUBLE TUBE FLURO LIGHT	-	2x36 W	-
SINGLE TUBE FLURO LIGHT	-	36 W	-
FLOOD LIGHT	-	30 W	-
WALL MOUNTED LIGHT	-	15 W	-
CEILING FAN	-	15 W	-
4x LIGHT / EXHAUST / HEAT	-	4 x 275 W	-
2x LIGHT / EXHAUST / HEAT	-	2 X 275w	-

THE LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF ARTIFICIAL LIGHTING, EXCLUDING HEATERS THAT EMIT LIGHT, MUST NOT EXCEED THE ALLOWANCE OF-
 (I) 5 W/M2 IN A CLASS 1 BUILDING; AND
 (II) 4 W/M2 ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING; AND
 (III) 3 W/M2 IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.

FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS
 (A) AN EXHAUST SYSTEM INSTALLED IN A KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST HAVE A MINIMUM FLOW RATE OF-
 (I) 25 L/S FOR A BATHROOM OR SANITARY COMPARTMENT; AND
 (II) 40 L/S FOR A KITCHEN OR LAUNDRY.
 (B) EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED-
 (I) DIRECTLY OR VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR
 (II) TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4.

SMOKE ALARMS MUST-
 (A) BE LOCATED IN-
 (I) CLASS 1A BUILDINGS IN ACCORDANCE WITH 3.7.2.3; AND
 (II) CLASS 1B BUILDINGS IN ACCORDANCE WITH 3.7.2.4 AND 3.7.2.5; AND
 (B) COMPLY WITH AS 3786, EXCEPT THAT IN A CLASS 10A PRIVATE GARAGE WHERE THE USE OF THE AREA IS LIKELY TO RESULT IN SMOKE ALARMS CAUSING SPURIOUS SIGNALS, ANY OTHER ALARM DEEMED SUITABLE IN ACCORDANCE WITH AS 1670.1 MAY BE INSTALLED PROVIDED THAT SMOKE ALARMS COMPLYING AS 3786 ARE INSTALLED ELSEWHERE IN THE CLASS 1 BUILDING; AND
 (C) BE CONNECTED TO THE CONSUMER MAINS POWER WHERE CONSUMER POWER IS SUPPLIED TO THE BUILDING; AND
 (D) BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM.



GAS BOTTLES BY OWNER -
 PIGTAILS BY BUILDER

ELECTRICAL PLAN

1 : 100

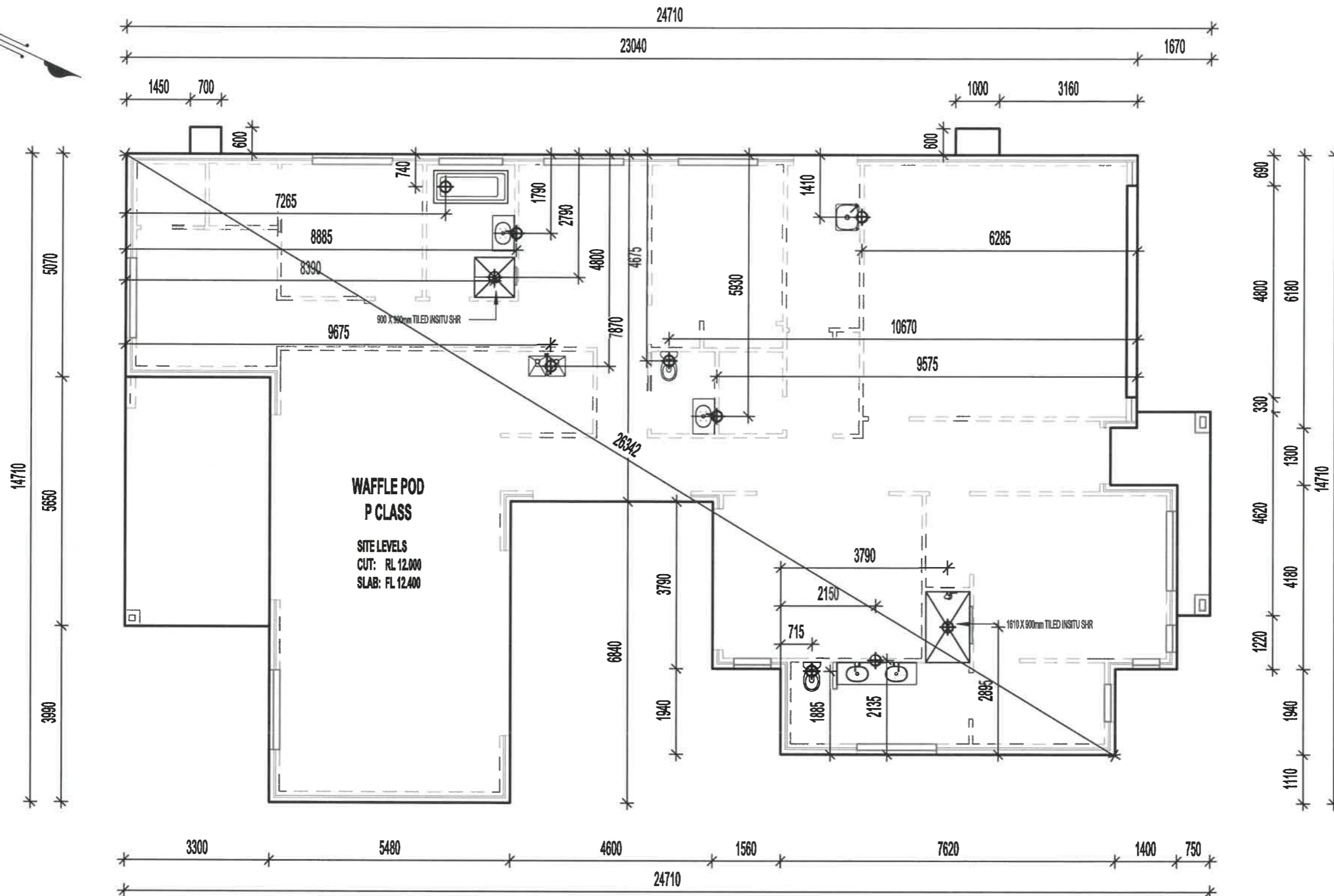
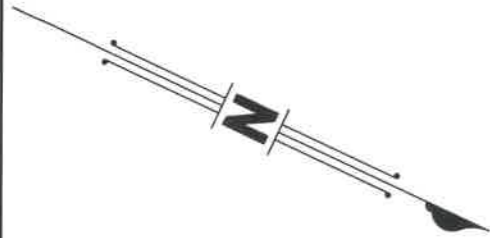
CONSTRUCTION TO BE IN ACCORDANCE TO BAL 12.5

NOTE:
 METER BOX LOCATION IS INDICATIVE OF A 6 METER DISTANCE FROM POWER PIT AND IS SUBJECT TO CHANGE AS DETERMINED BY THE ELECTRICIAN

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FLUOROCARBON GAS.
 OWNER SIGNED: [Redacted]
 OWNER SIGNED: [Redacted]
 BUILDER SIGNED: [Redacted]

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CLIENT:	PROJECT: PROPOSED NEW RESIDENCE	PAGES: 08 OF 17	SHEET SIZE: A3	FLOOR AREAS:	REV:	DATE:
	LOT 01 TP 130747D	JOB NO: 226420		LIVING 226.82 m²	1 PRELIMINARY ISSUE	14/05/2024
	8916 PRINCES HIGHWAY	DRAWN: TJ		GARAGE 37.21 m²	2 PRELIMINARY ISSUE	16/05/2024
	PANMURE VIC 3265	DATE: 14/05/2024		ALFRESCO 18.65 m²		
				PORCH 5.77 m²		
				TOTAL 288.45 m²		



CONCRETE SETOUT PLAN

1 : 100

CONSTRUCTION TO BE IN ACCORDANCE TO BAL 12.5

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER CHARGES AS APPLICABLE.
 OWNER SIGNED: [Redacted]
 OWNER SIGNED: [Redacted]
 BUILDER SIGNED: [Redacted]

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CLIENT:	[Redacted]
DRAWING TITLE:	CONCRETE FLOOR PLAN

PROJECT: PROPOSED NEW RESIDENCE
LOT 01 TP 130747D
8916 PRINCES HIGHWAY
PANMURE VIC 3265

PAGES:	10 OF 17
SHEET SIZE:	A3
JOB NO:	220428
DRAWN:	TJ
DATE:	14/05/2024

FLOOR AREAS:	
LIVING	226.82 m ²
GARAGE	37.21 m ²
ALFRESCO	18.65 m ²
PORCH	5.77 m ²
TOTAL	288.45 m²

REV:	DETAILS:	DATE:
1	PRELIMINARY ISSUE	14/05/2024
2	PRELIMINARY ISSUE	16/05/2024



LEGEND

- VINYL PLANKS**
AS PER SCHEDULE
- CARPET**
AS PER SCHEDULE
- WET AREA TILE**
AS PER SCHEDULE
- PLAIN GREY CONCRETE SLAB**



NOTE:
PATTERN, SIZES, LAYING DIRECTION ARE INDICATIVE ONLY - REFER TO COLOUR SCHEDULE & SPECIFICATIONS

FLOOR COVERING

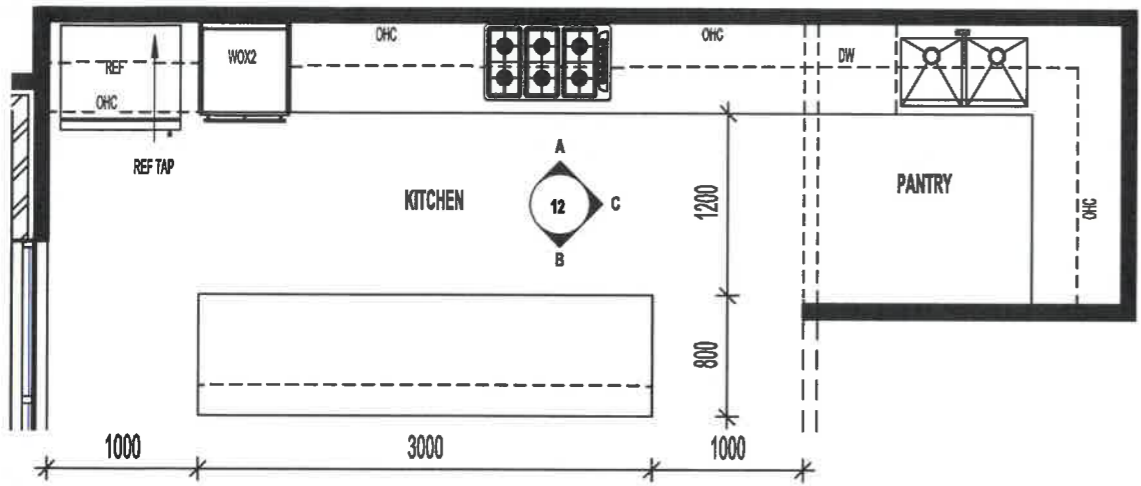
1 : 100

CONSTRUCTION TO BE IN ACCORDANCE TO BAL 12.5

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY OTHER COSTS.
OWNER SIGN: [Redacted]
OWNER SIGN: [Redacted]
BUILDER SIGN: [Redacted]

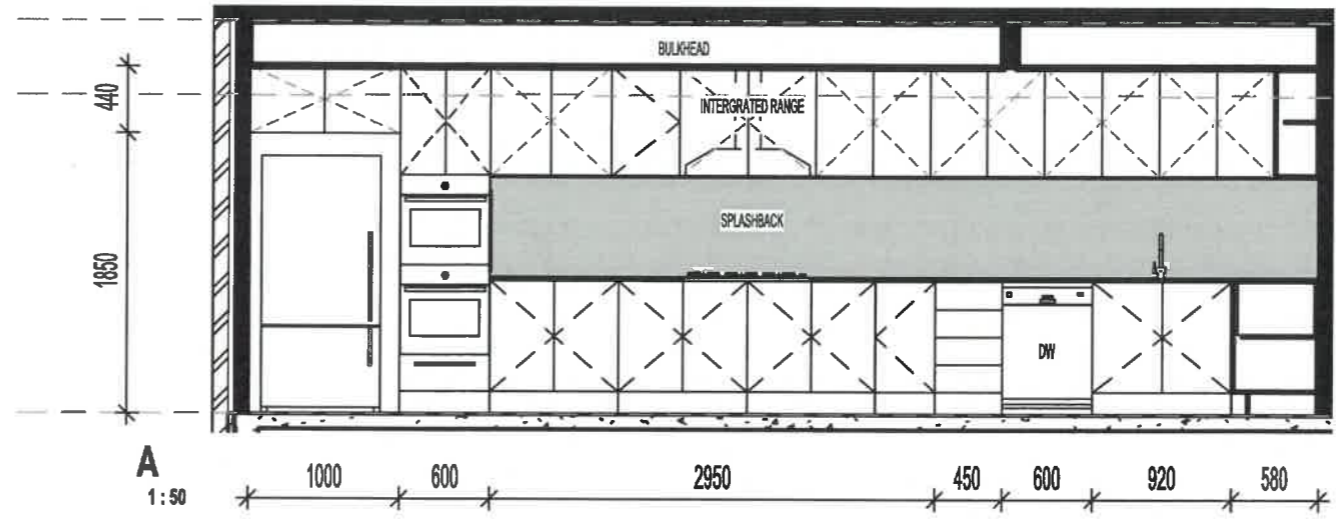
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CLIENT: [Redacted]	PROJECT: PROPOSED NEW RESIDENCE LOT 01 TP 130747D 8916 PRINCES HIGHWAY PANMURE VIC 3265	PAGES: 11 OF 17	SHEET SIZE: A3	FLOOR AREAS:	REV:	DETAILS:	DATE:
DRAWING TITLE: FLOOR COVERING		JOB NO: 220420		LIVING 226.82 m ²	1	PRELIMINARY ISSUE	14/05/2024
		DRAWN: TJ		GARAGE 37.21 m ²	2	PRELIMINARY ISSUE	16/05/2024
		DATE: 14/05/2024		ALFRESCO 18.65 m ²			
				PORCH 5.77 m ²			
				TOTAL 288.45 m ²			



KITCHEN & ENSUITE FLOOR PLAN

1:50

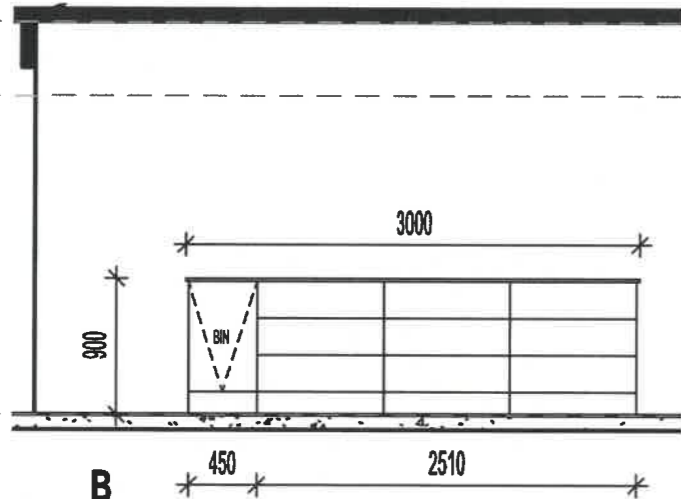


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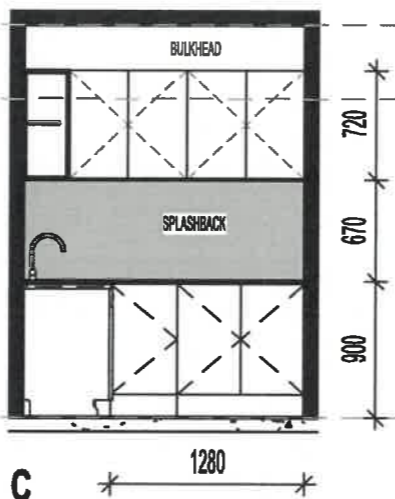
PLEASE NOTE:
FRIDGE SPACE OF 1000mm IS MEASURED
FROM FRAME TO CABINET GABLE - ALLOWING
FOR A FRIDGE OF 900mm WIDE.



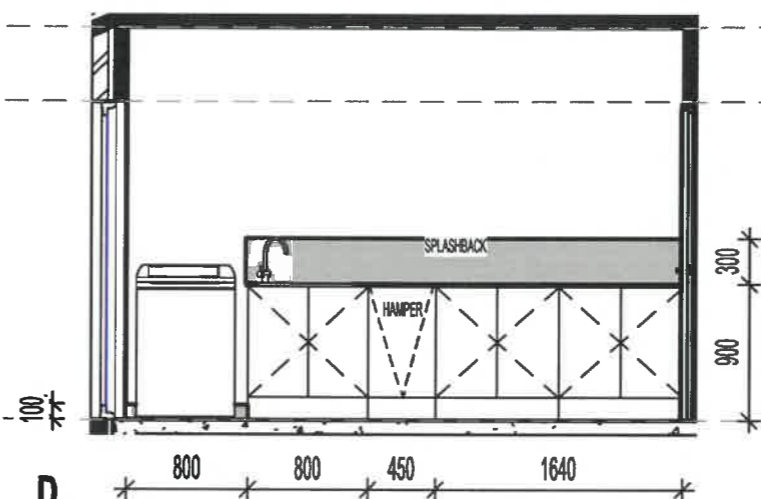
CLIENT SIGNATURE



B
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C
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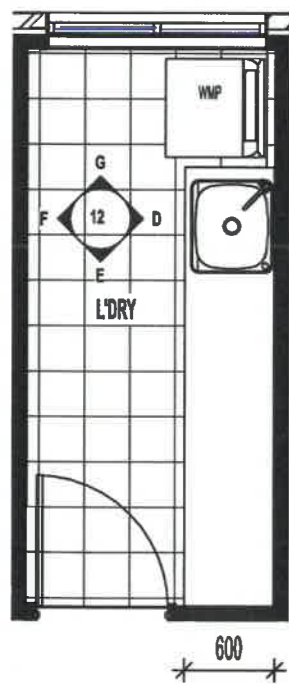


D
1:50

NOTE:
JOINERY ELEVATION DIMENSIONS ARE NOMINAL ONLY & ANY
FURTHER CLARIFICATION
WILL BE AVAILABLE VIA THE CABINET MAKER
REFER TO THE DETAILED CABINET MAKER DRAWINGS FOR
ACCURATE DIMENSION CLARIFICATION.

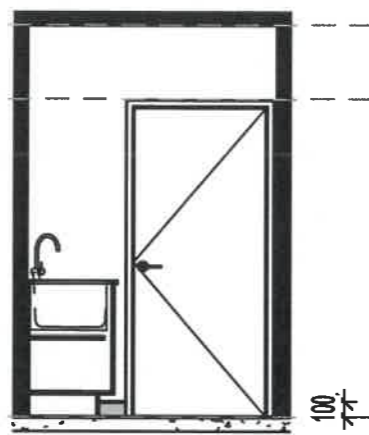
HEIGHTS ARE APPROX. ONLY

- 800mm VANITY UNIT HEIGHT
- 900mm NOMINAL LAUNDRY BENCH HEIGHT
- 900mm NOMINAL KITCHEN BENCH HEIGHT
- 1500mm SHOWER SHELF HEAD HEIGHT
- 1100mm SHOWER MIXER HEIGHT
- 1800mm SHOWER ROSE HEIGHT
- 1850mm SHOWER SCREEN HEIGHT
- 800mm TOILET ROLL HOLDER HEIGHT
- 900mm TOWEL RAIL HEIGHT
- 2100mm (CENTERED) NOGGING FOR DRYER

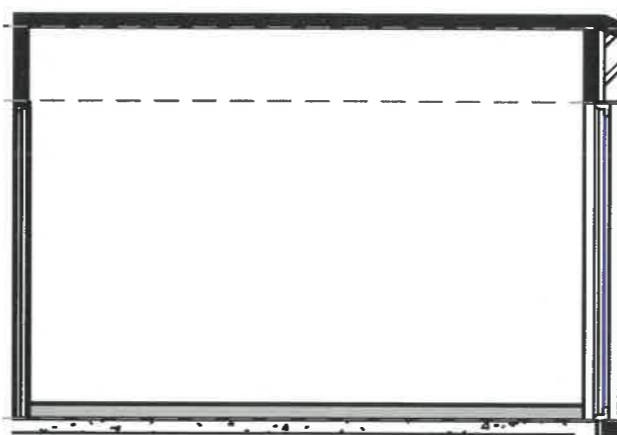


LAUNDRY FLOOR PLAN

1:50



E
1:50



F
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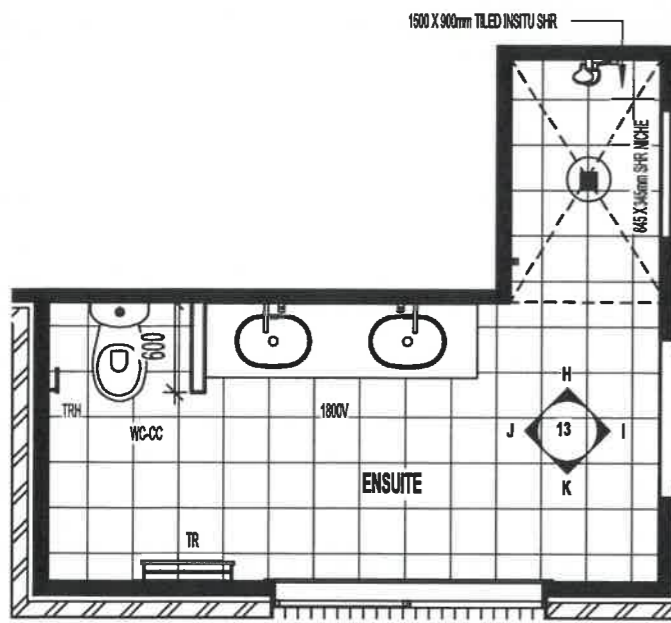
G
1:50

WE HAVE CHECKED THE PLANS AND AGREE THEY
ACCURATELY DEPICT THE HOUSE FOR
CONSTRUCTION. ANY VARIATIONS REQUESTED
AFTER SIGNING WILL INCUR A PROCESSING FEE IN
ADDITION TO THE COST OF THE DRAWINGS.
AND ANY FURTHER CHANGES WILL BE
OWNER SIGNATURE
OWNER SIGNATURE
BUILDER SIGNATURE

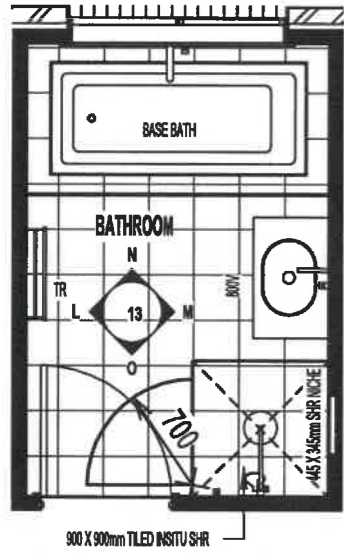
CONSTRUCTION TO BE IN ACCORDANCE TO BAL 12.5

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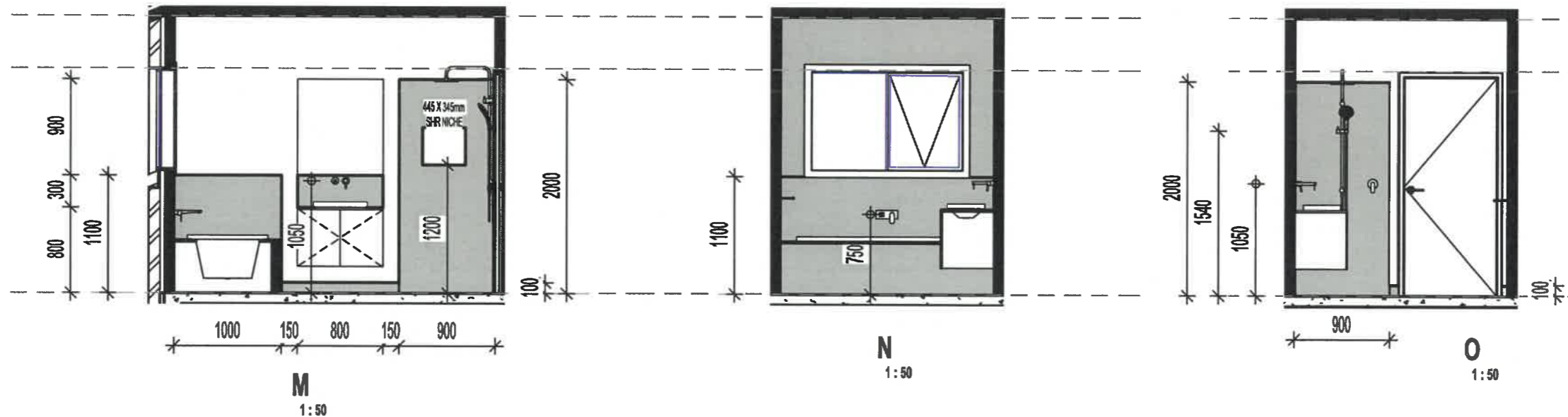
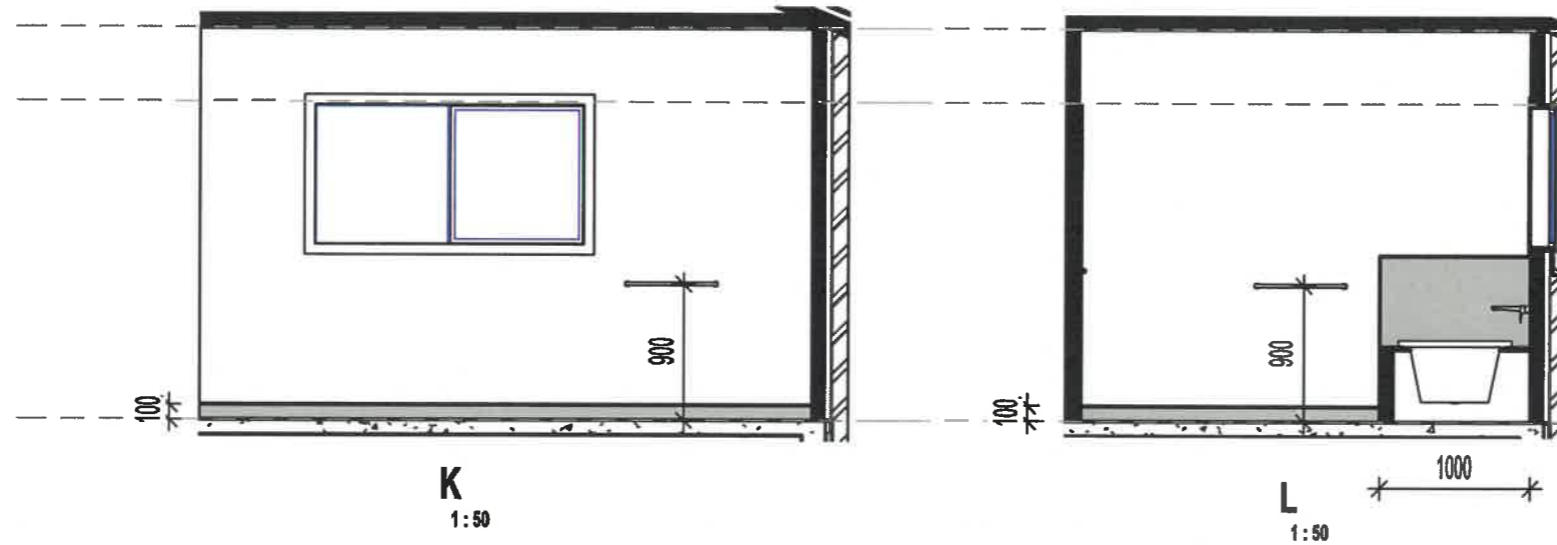
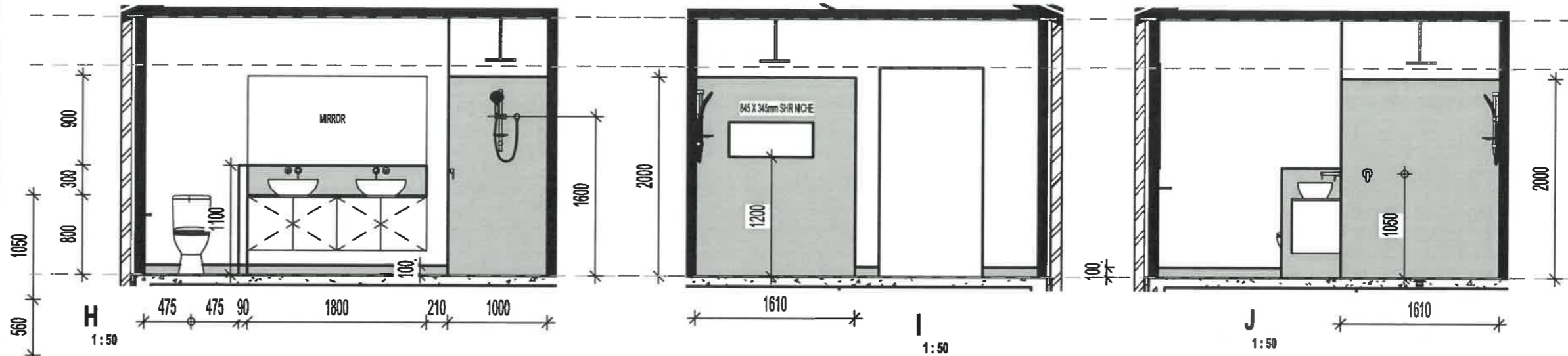
CLIENT:	PROJECT: PROPOSED NEW RESIDENCE LOT 01 TP 130747D 8916 PRINCES HIGHWAY PANMURE VIC 3265	PAGES: 12 OF 17	SHEET SIZE: A3	FLOOR AREAS:	REV:	DETAILS:	DATE:
DRAWING TITLE: WET AREA ELEVATIONS		JOB NO: 220420	DRAWN: TJ	LIVING 226.82 m ² GARAGE 37.21 m ² ALFRESCO 18.65 m ² PORCH 5.77 m ² 288.45 m ²	1 2	PRELIMINARY ISSUE PRELIMINARY ISSUE	14/05/2024 18/05/2024
		DATE: 14/05/2024					



ENSUITE FLOOR PLAN
1:50



BATHROOM FLOOR PLAN
1:50



NOTE:
JOINERY ELEVATION DIMENSIONS ARE NOMINAL ONLY & ANY FURTHER CLARIFICATION WILL BE AVAILABLE VIA THE CABINET MAKER REFER TO THE DETAILED CABINET MAKER DRAWINGS FOR ACCURATE DIMENSION CLARIFICATION.

HEIGHTS ARE APPROX. ONLY

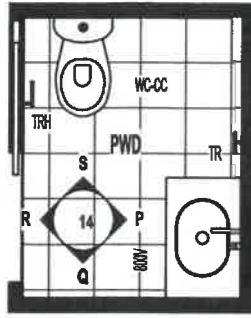
- 800mm VANITY UNIT HEIGHT
- 900mm NOMINAL LAUNDRY BENCH HEIGHT
- 900mm NOMINAL KITCHEN BENCH HEIGHT
- 1500mm SHOWER SHELF HEAD HEIGHT
- 1100mm SHOWER MIXER HEIGHT
- 1800mm SHOWER ROSE HEIGHT
- 1850mm SHOWER SCREEN HEIGHT
- 800mm TOILET ROLL HOLDER HEIGHT
- 900mm TOWEL RAIL HEIGHT
- 2100mm (CENTERED) NOGGING FOR DRYER

CONSTRUCTION TO BE IN ACCORDANCE TO BAL 12.5

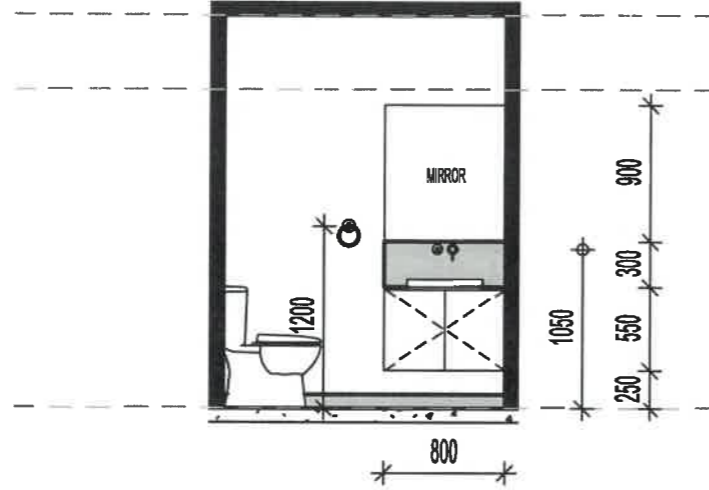
I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER COSTS.
OWNER SIGNED: [Redacted]
OWNER SIGNED: [Redacted]
BUILDER SIGNED: [Redacted]

REPRODUCED IN WHOLE OR IN PART WITH OUT THE WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

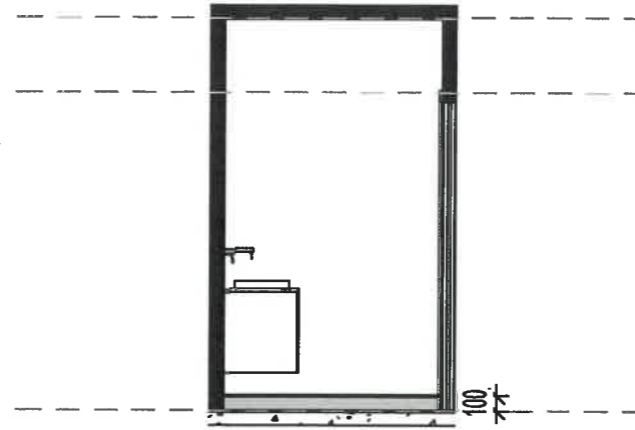
CLIENT:	PROJECT: PROPOSED NEW RESIDENCE	PAGES: 13 OF 17	SHEET SIZE: A3	FLOOR AREAS:	REV:	DETAILS:	DATE:
DRAWING TITLE: WET AREA ELEVATIONS	LOT 01 TP 130747D 8916 PRINCES HIGHWAY PANMURE VIC 3265	JOB NO: 229429	DRAWN: TJ	LIVING 226.82 m ²	1	PRELIMINARY ISSUE	14/05/2024
		DATE: 14/05/2024		GARAGE 37.21 m ²	2	PRELIMINARY ISSUE	16/05/2024
				ALFRESCO 18.65 m ²			
				PORCH 5.77 m ²			
				TOTAL 288.45 m ²			



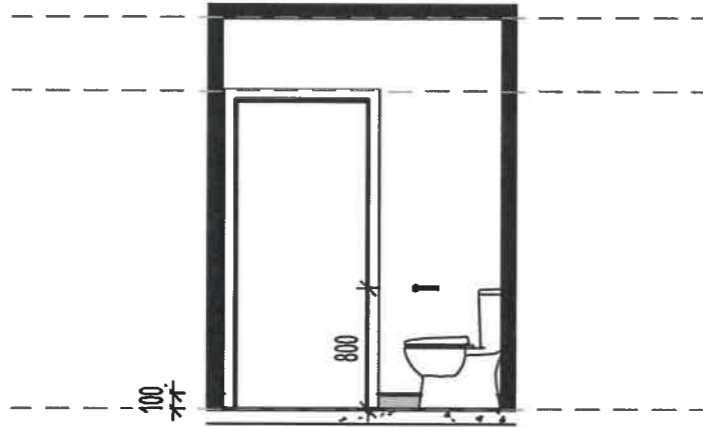
PWD FLOOR PLAN
1:50



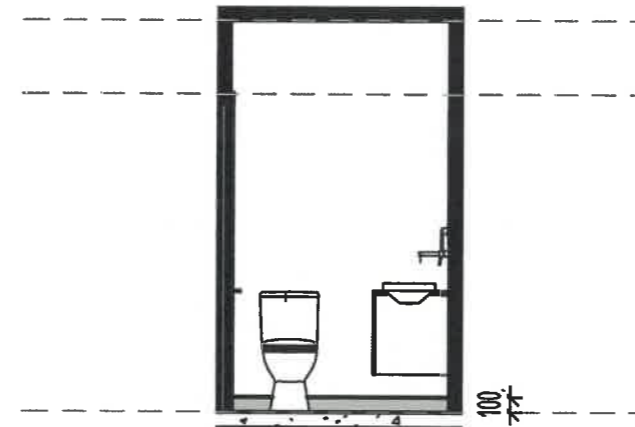
P
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IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY
OWNER SIGN
OWNER SIGN
BUILDER SIGN

REPRODUCED IN WHOLE OR IN PART WITH OUT THE WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

CLIENT:

PROJECT: PROPOSED NEW RESIDENCE

PAGES: 14 OF 17
SHEET SIZE: **A3**

FLOOR AREAS:

REV:	DESCRIPTION:	DATE:
1	PRELIMINARY ISSUE	14/05/2024
2	PRELIMINARY ISSUE	16/05/2024

DRAWING TITLE:

LOT 01 TP 130747D
8916 PRINCES HIGHWAY
PANMURE VIC 3265

JOB NO: 229420

DRAWN: TJ

DATE: 14/05/2024

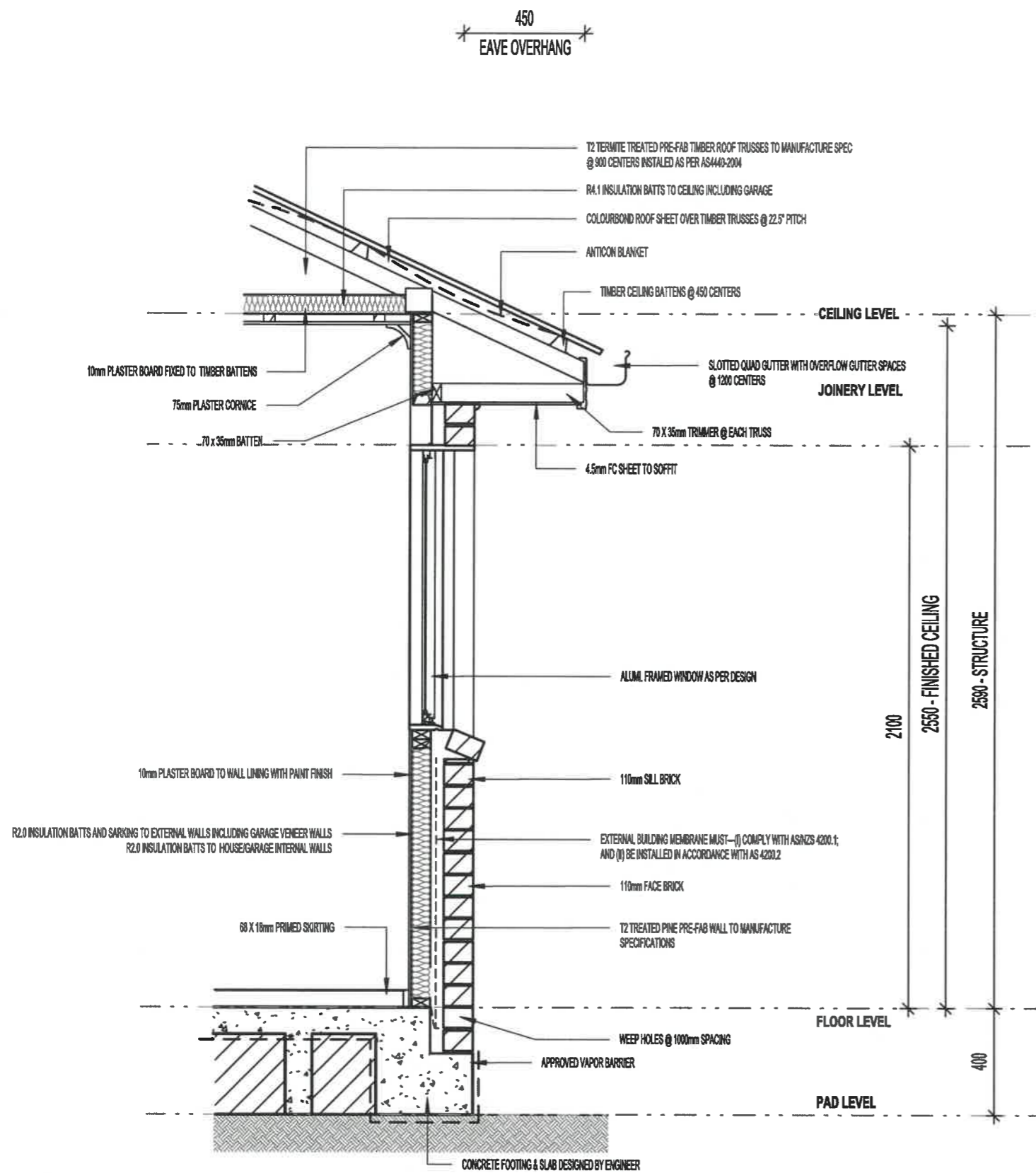
WET AREA ELEVATIONS

DATE: 14/05/2024

DATE: 14/05/2024

DATE: 14/05/2024

DATE: 14/05/2024



TYP. BRICK VENEER WALL DETAIL - 2590

1 : 20

CONSTRUCTION TO BE IN ACCORDANCE TO BAL 12.5

ENERGY REQUIREMENTS (FOR ALL NEW CONSTRUCTION & WINDOWS)

EXTERNAL WALL: R2.0 INSULATION & FOIL
ALL INTERNAL WALLS TO GARAGE: R2.0 INSULATION & FOIL
 (GARAGE EXTERNAL WALL & CEILING NOT INSULATED)

DWELLING CEILING OPEN TO ROOF SPACE: R4.1 INSULATION & SARKING

ALL WINDOWS: ALUMINIUM DOUBLE GLAZED WINDOWS
 (U VALUES & SCHG VALUES AS PER FORST RATE 5 CERTIFICATE)

CONSTRUCTION REQUIREMENTS

ALL NEW EXHAUST FANS ARE TO BE SEALED AND SELF CLOSING.
 ALL EXTERNAL DOORS AND WINDOWS MUST BE WEATHER STRIPPED.
 WAFFLE SLAB 100mm PANEL THICKNESS, OVERALL SLAB DEPTH 400mm
 ALL DOWNLIGHTS ARE IC APPROVED

A CONDENSATION MANAGEMENT SYSTEM IS TO BE INSTALLED AS PER NCC 2019 PART 3.8.7

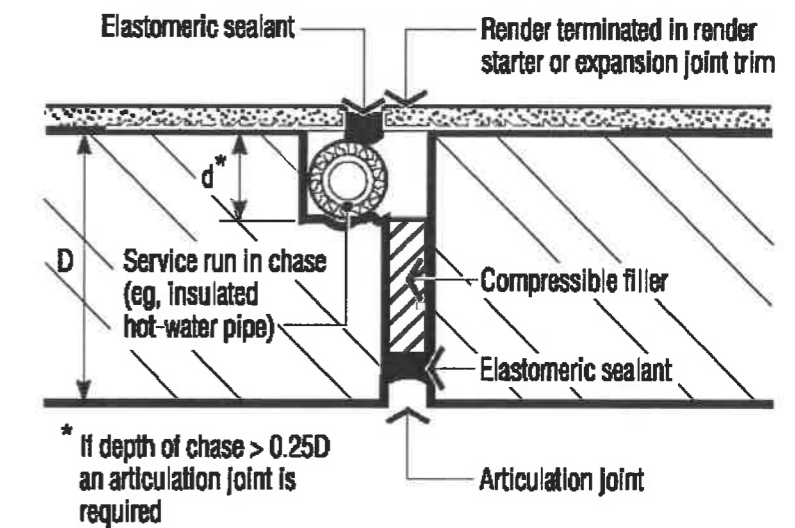


Figure 15 Articulation joints at deep chases

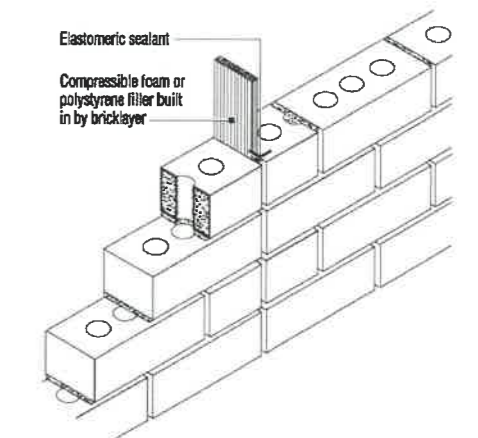


Figure 19 Typical articulation joint detail for external masonry wall

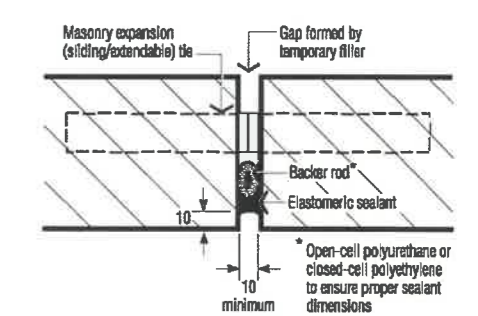


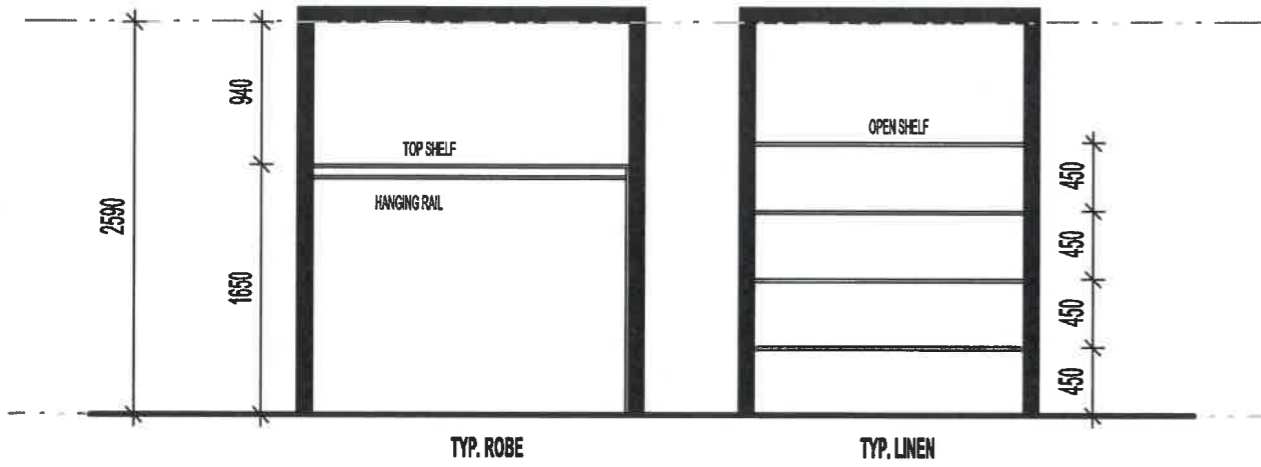
Figure 20 Alternative articulation joint detail for external masonry wall

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY OTHER COSTS.

OWNER SIGN: _____
 OWNER SIGN: _____
 BUILDER SIGN: _____

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CLIENT: DRAWING TITLE: BUILDING DETAILS	PROJECT: PROPOSED NEW RESIDENCE LOT 01 TP 130747D 8916 PRINCES HIGHWAY PANMURE VIC 3265	PAGES: 16 OF 17	SHEET SIZE: A3	FLOOR AREAS:		REV:	DATE:
		JOB NO: 229420		LIVING	226.82 m ²	1	PRELIMINARY ISSUE
		DRAWN: TJ		GARAGE	37.21 m ²	2	PRELIMINARY ISSUE
		DATE: 14/05/2024		ALFRESCO	18.65 m ²		
				PORCH	5.77 m ²		
					288.45 m ²		



TYPICAL ROBE SHELVING DETAIL

1:50

WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER COSTS.

OWNER SIGNATURE: [Redacted]
 OWNER SIGNATURE: [Redacted]
 BUILDER SIGNATURE: [Redacted]

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PAGES: 16 OF 17
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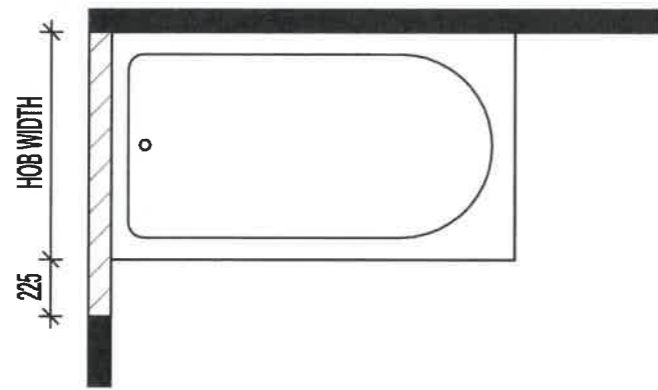
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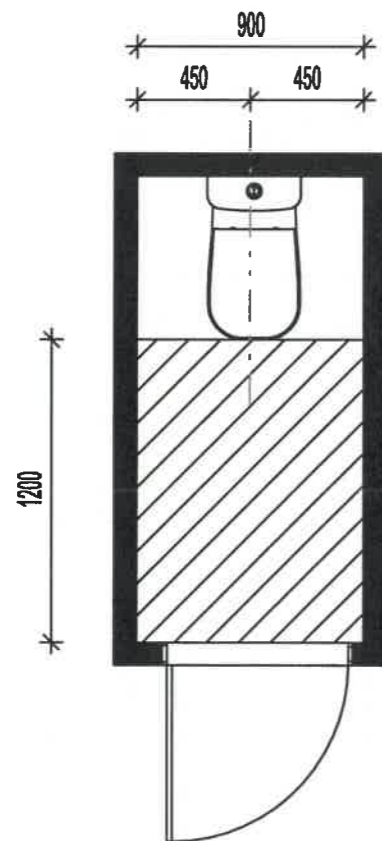
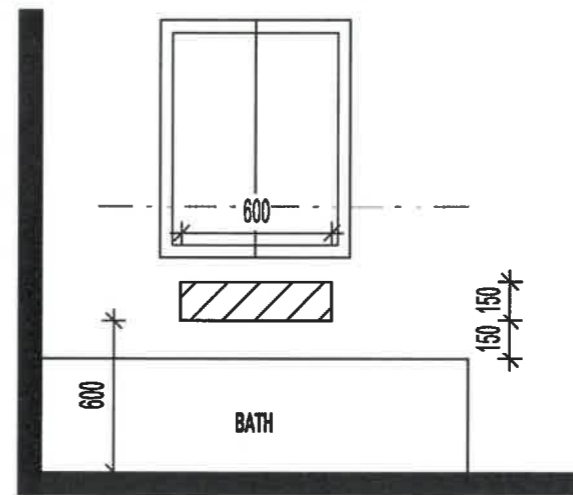
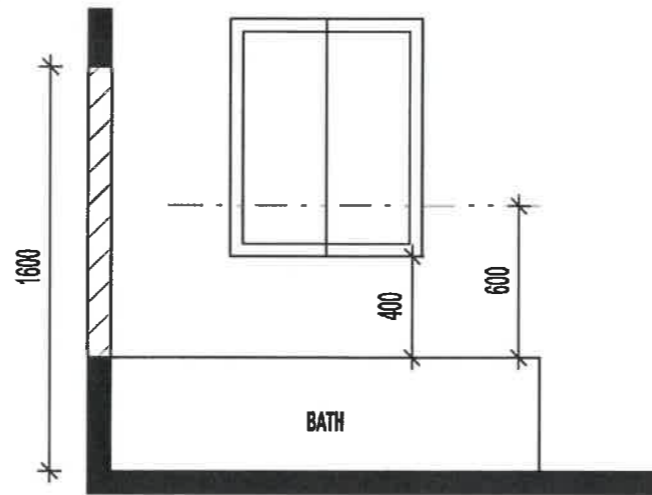
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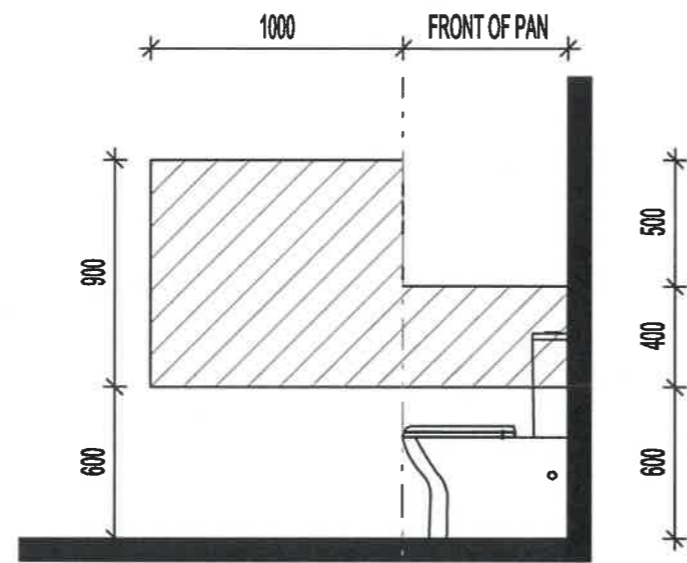
REV:	DET	DATE
1	PRELIMINARY ISSUE	14/05/2024
2	PRELIMINARY ISSUE	16/05/2024



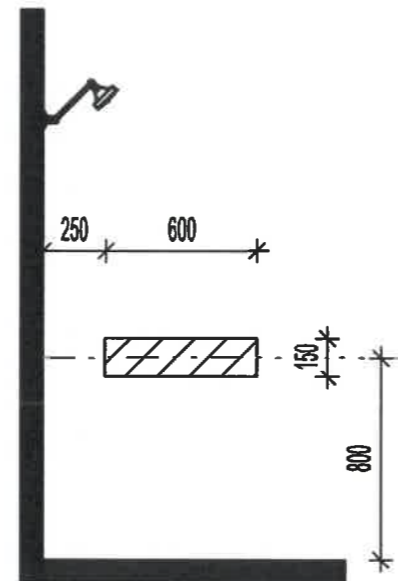
BATH REINFORCEMENT



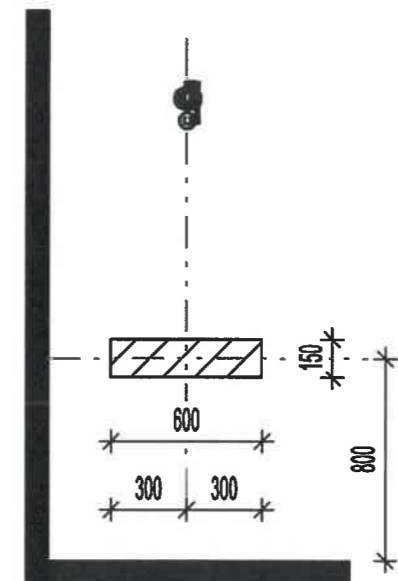
LHC-REINFORCEMENT DIAGRAM
1:30



WC REINFORCEMENT



SHOWER REINFORCEMENT



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